

PROPOSED NEW SHEDS, ATTACHED CARPORT & EXISTING SHED (DA & BIC)
AT LOT 1 IN DP 1306310
2 MURAC STREET, GOULBURN, NSW, 2580

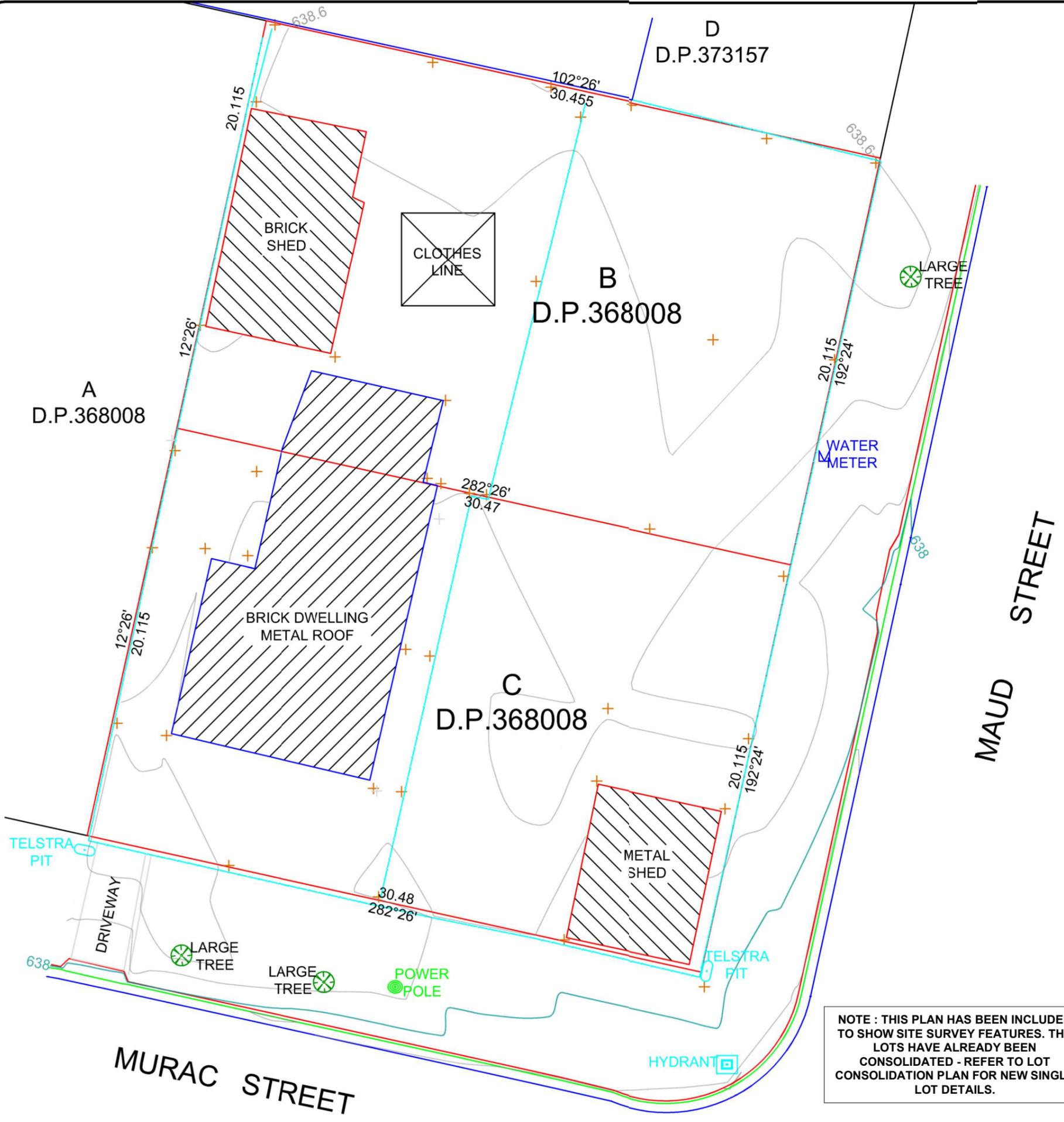
DWG #	REV #	TITLE OF DRAWING
DA-01	A	TITLE
DA-02	A	CPC- DETAIL SITE SURVEY
DA-03	A	PLAN OF CONSOLIDATION OF LOTS
DA-04	A	COMPLIANCE NOTES
DA-05	A	EXISTING / DEMOLITION SITE PLAN
DA-06	A	PROPOSED SITE PLAN
DA-07	A	PROPOSED OVERALL SHED FLOOR PLAN
DA-08	A	PROPOSED SHED FLOOR PLAN - PART A
DA-09	A	PROPOSED SHED FLOOR PLAN - PART B
DA-10	A	EXISTING METAL SHED (DA & BIC) - PLAN & ELEVATIONS
DA-11	A	PROPOSED SHED ROOF PLAN
DA-12	A	PROPOSED ELEVATIONS 1
DA-13	A	PROPOSED ELEVATIONS 2
DA-14	A	PROPOSED SECTION A

DWG #	REV #	TITLE OF DRAWING
DA-15	A	DETAILS - ACCESS TOILET
DA-16	A	DETAILS - STREETSCAPE COLOURBOARD
DA-17	A	DETAILS - WINDOW & DOOR SCHEDULES
DA-18	A	SITE DETAIL PLAN - SITE SETOUT
DA-19	A	SITE DETAIL PLAN - SLAB SETOUT
DA-20	A	SITE DETAIL PLAN - EROSION CONTROL NOTES & PLAN
DA-21	A	SITE DETAIL PLANS - CUT & FILL
DA-22	A	SITE DETAIL PLAN - LANDSCAPE
DA-23	A	SITE DETAIL PLAN - VEHICLE TURNING CIRCLES
DA-24	A	SITE DETAIL PLAN - SHADOW DIAGRAMS 1
DA-25	A	SITE DETAIL PLANS - SHADOW DIAGRAMS 2
DA-26	A	3D PERSPECTIVES 1
DA-27	A	3D PERSPECTIVES 2
NP-01	A	NOTIFICATION PLAN

ISSUED FOR DEVELOPMENT APPLICATION &
BUILDING INFORMATION CERTIFICATE

ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	 TIM LEE ARCHITECTS <small>residential commercial industrial</small> P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		TITLE	APRIL 24	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025	CLIENT	LOT AND DEPOSITED PLAN NO.		AW	
			C. JAMES	LOT 1 DP 1306310			
			<small>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</small>	STREET ADDRESS	AT SHEET SIZE	JOB NUMBER	
			©	2 MURAC STREET GOULBURN NSW 2580	A3 SHEET	0124-1641	
					DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE	
					DA-01	A	



CPC

LAND DEVELOPMENT CONSULTANTS PTY LTD

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N.S.W. 2580

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EMAIL:
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CLIENT:
CAROL JAMES

PLAN SHOWING
DETAIL SITE SURVEY
OF LOTS B & C IN
D.P. 368008
110 MAUD STREET
GOULBURN

REFERENCE : 22345

LGA:
GOULBURN MULWAREE

DATE: 10/11/2022

EDITION: A

PLAN NUMBER:
22345-A-20221110/SD

SCALE: 1:200 (A3)

SHEET: 1 OF 1

Origin of Level: SCIMS
PM 9062 - RL:637.347
Contour interval: 0.2m
Height Datum: AHD

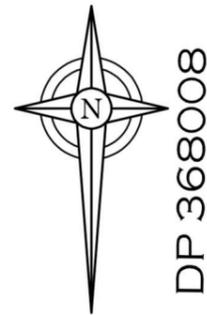
NOTE : THIS PLAN HAS BEEN INCLUDED
TO SHOW SITE SURVEY FEATURES. THE
LOTS HAVE ALREADY BEEN
CONSOLIDATED - REFER TO LOT
CONSOLIDATION PLAN FOR NEW SINGLE
LOT DETAILS.

The plan has been prepared for Detail
purposes for use in the matter.

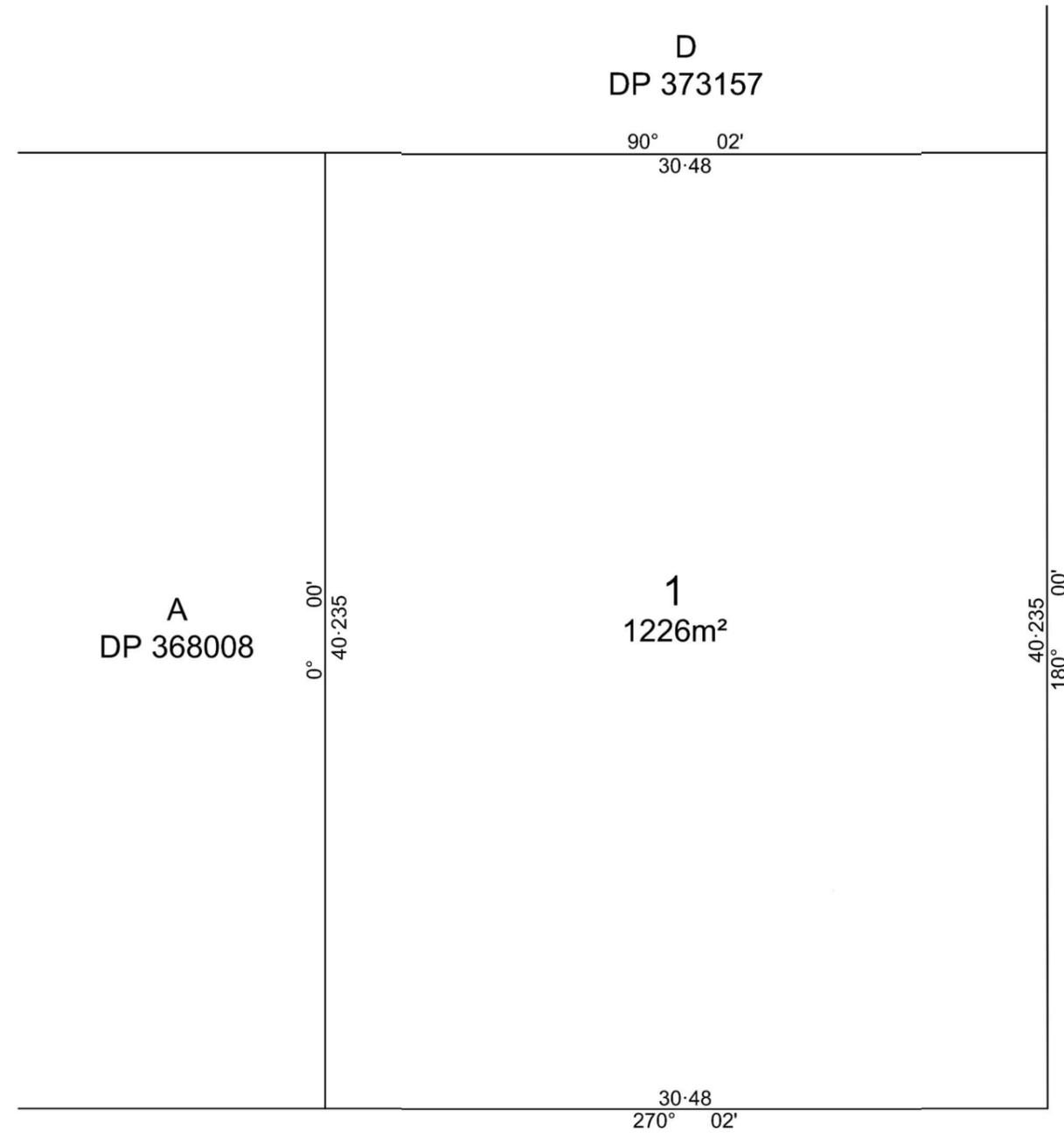
NOT TO BE USED FOR BOUNDARY
DEFINITION

MURAC STREET

MAUD STREET



DP 368008



Req:R514864 /Doc:DP 1306310 P /Rev:03-Jun-2024 /NSW LRS /Prt:04-Jun-2024 04:01 /Seq:1 of 3
© Office of the Registrar-General /Src:NSW LRS Connect /Ref:LRS:Connect-S ForSurveyor Use Only

<p>Name: James Reginald McMahon Date: 10/04/2024 Reference: 22345 - 2024M7100 (143) Comp</p>	<p>PLAN OF CONSOLIDATION OF LOTS B & C IN DP 368008</p>	<p>L.G.A.: GOULBURN MULWAREE Locality: GOULBURN Reduction Ratio: 1:250 Lengths are in metres</p>	<p>Registered  01/06/2024</p>	<p>DP1306310</p>
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10	20	30	40	50	60	70	Table of mm	100	110	120	130	140	150
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NCC & AUSTRALIAN STANDARDS COMPLIANCE NOTES

ALL BUILDING WORKS, SIGNAGE, FITTINGS & FIXTURES TO BE INSTALLED IN STRICT ACCORDANCE TO MEET AS1428.1. & BE INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

CONTRACTOR TO SHOW FULL COMPLIANCE WITH ALL CURRENT REQUIRED CODES, STANDARDS, LOCAL LEGISLATION, BY-LAWS & PARTS OF THE NCC, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

NCC VOL 1 - SECTION A	GOVERNING REQUIREMENTS
NCC VOL 1 - SECTION B	STRUCTURE
NCC VOL 1 - SECTION C	FIRE RESISTANCE
NCC VOL 1 - SECTION D	ACCESS & EGRESS
NCC VOL 1 - SECTION E	SERVICES & EQUIPMENT
NCC VOL 1 - SECTION F	HEALTH & AMENITY
NCC VOL 1 - SECTION G	ANCILLARY PROVISIONS
NCC VOL 1 - SECTION I	SPECIAL USE BUILDINGS
NCC VOL 1 - SECTION J	ENERGY EFFICIENCY
NCC VOL 1 - SCHEDULE 3	COMMONWEALTH OF AUSTRALIA
NCC VOL 1 - SCHEDULE 4	AUSTRALIAN CAPITAL TERRITORY
NCC VOL 1 - SCHEDULE 5	NEW SOUTH WALES

VENTILATION IS REQUIRED TO ALL BUILDINGS TO MEET PART F6 OF THE NCC.

AS/NZS 1170.2 :2011	STRUCTURAL DESIGN ACTIONS - WIND ACTIONS
AS 1288 : 2006	GLASS IN BUILDING & NCC CLAUSE BP1.3
AS 1379 : 2007	SPECIFICATION & SUPPLY OF CONCRETE
AS 1562 : 2018	DESIGN & INSTALLATION OF SHEET ROOFING & WALL CLADDING
AS 1684.2 : 2010	TIMBER-FRAMED CONSTRUCTION - NON-CYCLONIC AREA - N1/N2 SUPPLEMENT 1: TIMBER FRAMING SPAN TABLES - WIND CLASSIFICATION N1/N2 - SEASONED SOFTWOOD - STRESS GRADE F5 (SUPPLEMENT TO AS 1684.2 : 2010)
AS 1668.1 : 2015	THE USE OF VENTILATION & AIR CONDITIONING IN BUILDINGS, PART 1 : FIRE & SMOKE CONTROL IN BUILDINGS
AS 1668.2 : 2012	THE USE OF VENTILATION & AIR-CONDITIONING IN BUILDINGS, PART 2 : MECHANICAL VENTILATION IN BUILDINGS
AS 2047 : 2014	GLAZING ASSEMBLIES & NCC BP1.3 & F1.13
AS 2436 : 2010	GUIDE TO NOISE & VIBRATION CONTROL ON CONSTRUCTION, DEMOLITION & MAINTENANCE SITES
AS/NZS 2589 : 2017	GYPSUM LININGS - APPLICATIONS & FINISHING
AS/NZS 2904 : 1995	DAMP-PROOF COURSES & FLASHINGS
AS/NZS 3000 : 2018	ELECTRICAL INSTALLATIONS / WIRING
AS/NZS 3008 : 2017	ELECTRICAL INSTALLATIONS
AS/NZS 3012 : 2010	ELECTRICAL INSTALLATIONS - CONSTRUCTION & DEMOLITION SITES
AS/NZS 3500.3 : 2015	PLUMBING & DRAINAGE - STORMWATE DRAINAGE
AS 3600 : 2018	CONCRETE STRUCTURES
AS 3610.1 : 2018	FORMWORK FOR CONCRETE SPECIFICATIONS
AS 3660.1 : 2014	TERMITE MANAGEMENT PART 1 : NEW BUILDING WORK
AS 3660.2 : 2017	TERMITE MANAGEMENT PART 2 : IN & AROUND EXISTING BUILDINGS & STRUCTURES
AS 3666.1 : 2011	AIR HANDLING & WATER SYSTEMS OF BUILDING MICROBIAL CONTROL
AS 3700 : 2018	MASONRY STRUCTURES
AS 3740 : 2021	WATERPROOFING OF DOMESTIC WET AREAS & NCC PART F1.7
AS 3786 : 2014	SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONIZATION
AS 4349 : 2007	INSPECTION OF BUILDINGS

NCC & AUSTRALIAN STANDARDS COMPLIANCE NOTES

AS/NZS 4654 : 2012	WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE-GROUND USE
AS 4647 : 2004	DESIGN, CONSTRUCTION & FIT-OUT OF FOOD PREMISES
AS/NZS 4671 : 2019	STEEL FOR THE REINFORCEMENT OF CONCRETE
AS 5104 : 2017	GENERAL PRINCIPLES ON RELIABILITY FOR STRUCTURES

SCHEDULE OF FIRE SAFETY MEASURES

EMERGENCY LIGHTING	NCC PART E4D2, E4D4 AS 2293.1
FIRE HYDRANTS	NCC PART E1D2, AS 2419.1
FIRE HOSE REELS	NCC PART E1D3, AS 2441
EXIT SIGNS	NCC PART E4D5, E4D6, E4D8, AS/NZS 2293.1
PORTABLE FIRE EXTINGUISHERS	NCC PART E1D14, AS 2444
FIRE BLANKETS	NCC PART E1D14, AS 2444
EXIT DOORS	NCC PART D3, INC. D3D24, D3D25, D3D26, D3D28

NOTE : EMERGENCY DOORS TO REMAIN CLEAR AT ALL TIMES.

NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

INGRESS TO AND EGRESS FROM THE SITE, CAR PARKING AND ACCESS, DRIVEWAYS WIDTHS, TURNING CIRCLES AND THE DIMENSIONS OF ALL LOADING BAYS MUST BE DESIGNED IN ACCORDANCE WITH :

- AS/NZS 2890.1:2004, PARKING FACILITIES, PART 1 : OFF-STREET CAR PARKING
- AS 2890.2:2018, PARKING FACILITIES, PART 2 : OFF-STREET COMMERCIAL VEHICLE FACILITIES
- AS 2890.3:2015, PARKING FACILITIES, PART 3 : BICYCLE PARKING
- AS 2890.5:2020, PARKING FACILITIES, PART 5 : ON-STREET PARKING
- AS 2890.6:2009, PARKING FACILITIES, PART 6 : OFF-STREET PARKING FOR PEOPLE WITH DISABILITIES
- RMS AUSTRALIAN STANDARD SUPPLEMENTS
- GUIDE TO TRAFFIC GENERATING DEVELOPMENTS, VERSION 2.2 BY RTA OCT 2002
- GOULBURN MULWAREE COUNCIL DCP OR LOCAL COUNCIL DCP

ASBESTOS REMOVAL COMPLIANCE NOTES (IF FOUND):
IF & WHEN ASBESTOS IS FOUND, WORK IS TO STOP IMMEDIATELY & A LICENSED ASBESTOS REMOVALIST IS TO BE ENGAGED TO REMOVE THE ASBESTOS.

THE ASSESSMENT, REMOVAL & DISPOSAL OF ASBESTOS TO MEET ALL AUSTRALIAN STANDARDS, NCC (BCA) REQUIREMENTS & "HOW TO SAFELY REMOVE ASBESTOS - CODE OF PRACTICE" APRIL 2016 BY SAFE WORK AUSTRALIA, APPROVED CODE OF PRACTICE UNDER SECTION 274 OF THE "WORK HEALTH & SAFETY ACT" (THE WHS ACT) & THE "WORK HEALTH & SAFETY REGULATIONS" (THE WHS REGULATIONS).

THE REMOVAL OF ASBESTOS IS TO BE ACCESSED & CARRIED OUT BY A LICENSED ASBESTOS REMOVALIST WHO IS APPROPRIATELY LICENSED TO CARRY OUT THE SCOPE OF WORKS.

THE LICENSED ASBESTOS REMOVALIST MUST PREPARE AN ASBESTOS REMOVAL CONTROL PLAN FOR ANY LICENSED ASBESTOS REMOVAL WORK THEY ARE COMMISSIONED TO CARRY OUT. THE ASBESTOS REMOVAL CONTROL PLAN TO BE PREPARED PRIOR TO COMMENCEMENT OF WORKS.

DURING THE REMOVAL & DISPOSAL OF THE ASBESTOS, THE LICENSED ASBESTOS REMOVALIST IS TO ENSURE DECONTAMINATION FACILITIES, WASTE CONTAINMENT & DISPOSAL METHODS MEET THE ABOVE-MENTIONED RULES & REGULATIONS.

IF ASBESTOS CONTAMINATED SOIL IS DISCOVERED DURING WORKS & EXCAVATION ONSITE, ALL WORK IS TO CEASE IMMEDIATELY. THE LICENSED ASBESTOS REMOVALIST IS TO BE CONTACTED IMMEDIATELY & AWAIT THEIR INSTRUCTIONS.

COMPLIANCE NOTES:
ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3rd PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ON SITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORKS. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

REGISTERED SURVEYOR TO ESTABLISH BOUNDARY & SET OUT BUILDING IN STRICT ACCORDANCE WITH THIS DOCUMENTATION SET. ALL DIMENSIONS SUBJECT TO SITE SURVEY.

COMPLIANCE NOTES:

SUPPLY & INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.

THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.

ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ALL MATERIALS & WORKMANSHIP ARE TO BE OF BEST QUALITY UNDERTAKEN BY FULLY QUALIFIED TRADESMEN. ALL MATERIALS TO BE SUPPLIED NEW. ALL DAMAGED MATERIALS TO BE REJECTED AND REPLACED WITH NEW.

IF ALTERNATIVE MATERIAL OR PRODUCT IS PROPOSED TO THAT SPECIFIED, THE BUILDER MUST PROVIDE EVIDENCE SHOWING COMPLIANCE WITH THE BCA AND ALL RELEVANT STANDARDS RELATING TO THE APPLICATION OF THE PROPOSED MATERIAL. FURTHER THE ARCHITECT ACCEPTS NO LIABILITY OR INDEMNITY FOR THE SUBSTITUTION OF A MATERIAL CONTRARY TO THAT SPECIFIED BY THE ARCHITECT WITHOUT THE PROVISION OF WRITTEN DOCUMENTATION SHOWING COMPLIANCE WITH THE BCA AND AUSTRALIAN STANDARDS AND THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT.

THE CONTRACTOR IS TO NOTIFY THE PROJECT MANAGER OF ANY ERRORS OR OMISSIONS IN THE DOCUMENTATION PRIOR TO COMMENCING WORK. THE PROJECT MANAGER TO CONTACT THE APPROPRIATE CONSULTANT FOR ADVICE PRIOR TO COMMENCING THE WORKS.

COMMENCEMENT OF THE WORKS BY THE CONTRACTOR CONSTITUTES A FULL UNDERSTANDING OF THE PROJECT & ACCEPTANCE OF ALL SITE CONDITIONS & THE SUPPLIED DOCUMENTATION.

TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY OR INDEMNITY FOR CONDITIONS, LATENT OR OTHERWISE, ARISING WITHOUT NOTIFICATION PRIOR TO COMMENCING THE WORKS.

ALL WORK TO BE CARRIED OUT BY COMPETENT, SKILLED & QUALIFIED TRADESPEOPLE HOLDING CURRENT CERTIFICATION WITH THE REQUIRED AUTHORITY.

PROVIDE ALL MATERIALS, LABOUR & EQUIPMENT NECESSARY TO COMPLETE THE WORK AS PER THE DRAWING SET & ASSOCIATED DOCUMENTATION.

GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDINGS.

TERMITE CONTROL TO ALL AREAS AS REQUIRED BY AS 3660.1 & 3660.2.

INSTALL HARD WIRED SMOKE ALARMS TO AS 3786.

ALL WALLS TO BE WRAPPED IN ENVIROSEAL COMMERCIAL WALL WRAP. ALL JOINTS TO BE LAPPED MIN. 300mm AND TAPED. FIX TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF KITCHENS 5 LS/m² & CHANGEROOMS 5 LS/m² TO AS 4674 & AS 1668.2.

EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. REFER TO MECHANICAL DETAILS.

MECHANICAL VENTILATION & LIGHTING TO MEET NCC PART F4.

ONCE WINDOWS ARE INSTALLED, CONTRACTOR TO SEAL WINDOW PERIMETERS WITH EXPANDING FOAM FILLER FIRE RETARDANT TO GIVE FULLY AIR-TIGHT SEAL AGAINST FRAME. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.

CLADDING TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. INSTALL OVER ENVIROSEAL COMMERCIAL WALL WRAP. LAP & TAPE ALL JOINTS & FRAME PENETRATIONS TO ENSURE AN AIRTIGHT BUILDING SEAL.

COMPLIANCE NOTES:

SITE PREPARATION SHALL BE CARRIED OUT IN ACCORDANCE WITH ENGINEER'S DETAILS.

LIFT OFF HINGES TO ALL WC COMPARTMENT DOORS WHERE OPENING INWARDS.

ALL FIRST FLOOR WINDOWS TO HAVE A CHILD RESTRICTIVE OPENING DEVICE TO PREVENT THEM OPENING MORE THAN 120mm TO MEET NCC D2.24. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ALL PAINT FINISHES (EXTERNAL AND INTERNAL) TO BE LEVEL 4 PAINT FINISH (MIN. 4 COATS), SEAL COAT, UNDERCOAT, 2 x TOP COATS.

ALL PLASTERING TO A MINIMUM LEVEL 4 FINISH. ALL PLASTER FINISH WHERE USING SATIN & LOW SHEEN PAINTING FINISH TO BE A LEVEL 4 FINISH. ALL PLASTER PAINTING WHERE USING GLOSS OR SEMI GLOSS PAINTING FINISH TO BE A LEVEL 5 FINISH

ALL EXTERNALLY LOCATED MANUFACTURED TIMBER PRODUCTS PROTECTED IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

WET AREAS COMPLIANCE NOTES

WET AREAS SHOWN HATCHED, LAY NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 SLIP RATING ON MORTAR BED GRADED TO GIVE FALLS TO FW'S AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AS 3740.

THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLEBOARD OR TIMBER FLOORING.

PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS & REQUIREMENTS REQUIREMENTS FOR ALL WATERPROOFING SYSTEMS.

INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

TILING COMPLIANCE NOTES

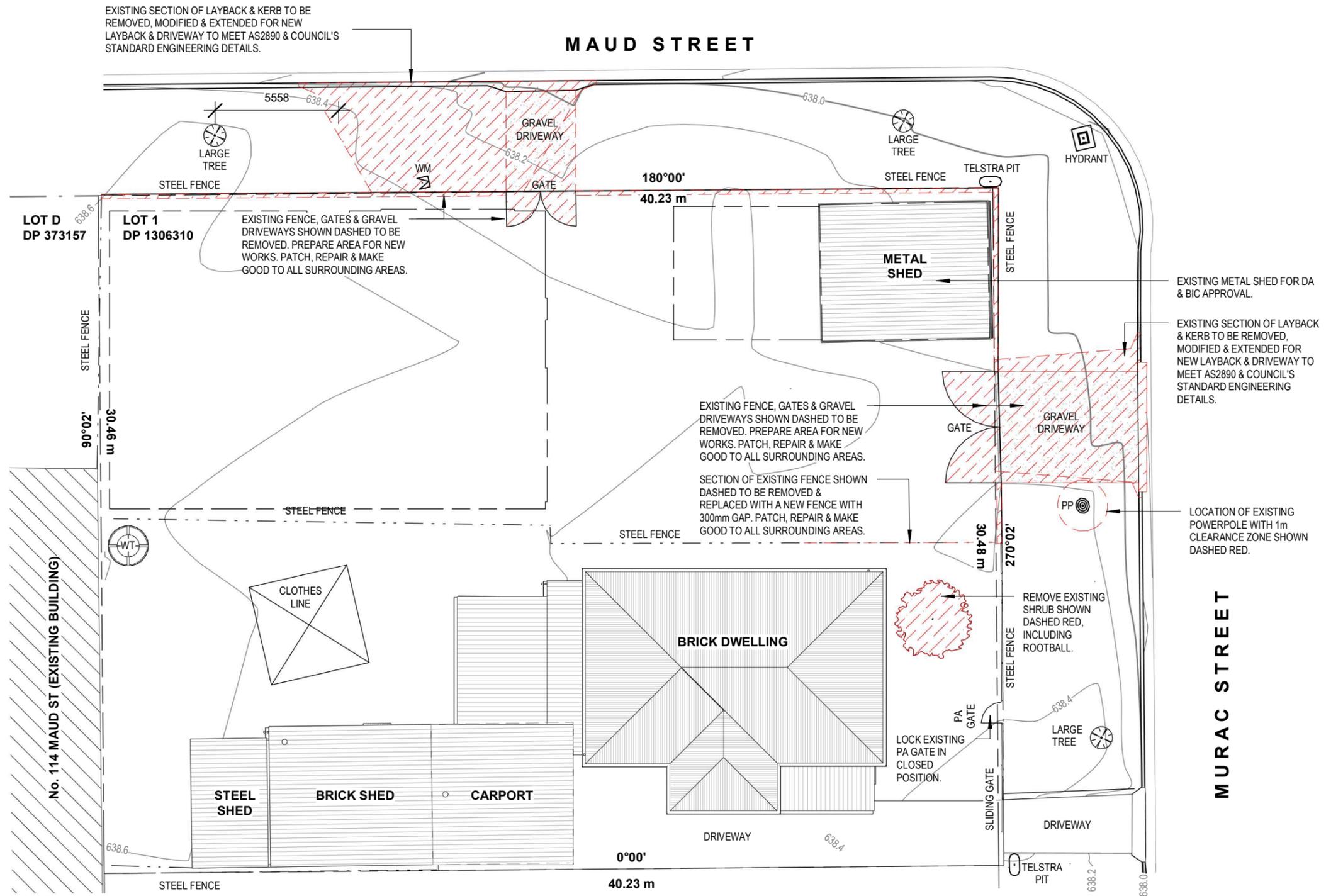
TILING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS.

APPROPRIATE TRIMS & FINISH BEADS TO BE INSTALLED.

SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE REPREPARED & NEW MATCHING MATERIALS SUPPLIED & LAID AT CONTRACTOR'S EXPENSE.

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NOT FOR CONSTRUCTION

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REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310	DRAWING SCALE 1 : 100	DRAWN BY AW
Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.					STREET ADDRESS 2 MURAC STREET GOULBURN NSW 2580	AT SHEET SIZE A3 SHEET	JOB NUMBER 0124-1641
					DRAWING IDENTIFICATION NUMBER DA-04	AMENDMENT ISSUE A	



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CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

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SITE AREA	1225.85 m ²
EX. STEEL SHED	18.70 m ²
EX. CARPORT	32.93 m ²
EX. BRICK SHED	46.33 m ²
EX. RESIDENCE	158.08 m ²
	256.03 m ²

- DEMOLITION NOTES:**
- PREPARE A DILAPIDATION REPORT FOR THE BUILDING & SURROUNDING AREA PRIOR TO COMMENCING WORK. REFER TO SPECIFICATION.
 - DEMOLITION SHALL BE CARRIED OUT SO AS TO CAUSE NO DISTURBANCE TO SURROUNDING STRUCTURES.
 - DEMOLISH EXISTING STRUCTURE / BUILDINGS. CARE TO BE TAKEN BELOW SLAB LEVEL.
 - ANY DAMAGE RESULTING FROM THE WORKS MUST BE IMMEDIATELY RECTIFIED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
 - LOCATE AND PREVENT ANY DAMAGE TO EXISTING SERVICES. IMMEDIATELY RECTIFY ANY DAMAGE OR INTERFERENCE TO THESE SERVICES AND PROVIDE TEMPORARY SERVICES WHILE REPAIRS ARE BEING CARRIED OUT.
 - ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT DAMAGE TO ALL ADJACENT WORK. SHOULD ANY DAMAGE OCCUR, THE CONTRACTOR SHALL MAKE GOOD TO THE SATISFACTION OF THE ARCHITECT.
 - IF AND WHEN OPENING UP ANY WORK, ANY CONDITIONS ARE FOUND TO BE UNSOUND OR UNSAFE THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ARCHITECT FOR THEIR INSTRUCTIONS.
 - PEG AND LABEL ALL CUT / REDUNDANT SERVICES FOR LATER IDENTIFICATION.
 - PROVIDE AS CONSTRUCTED DRAWINGS INDICATING LOCATION OF ALL SERVICES.
 - THE CONTRACTOR SHALL REMOVE FROM SITE ALL DEBRIS AND ASSOCIATED WASTE.
 - ONCE DEMOLITION'S ARE COMPLETED AND PHOTOGRAPHIC RECORDS TAKEN THE CONTRACTOR SHALL PREPARE AREAS FOR NEW WORK.
 - CONTRACTOR TO REFER TO SPECIFICATION FOR ITEMS TO BE SALVAGED.
 - IF ASBESTOS IS FOUND, REFER TO COMPLIANCE SHEET FOR NOTES ON ASBESTOS REMOVAL.

1 EXISTING/DEMOLITION SITE PLAN
1 : 200 @ A3

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DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED	EXISTING / DEMOLITION SITE PLAN	APRIL 24	TL
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			C. JAMES	LOT 1 DP 1306310	AT SHEET SIZE	JOB NUMBER
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	STREET ADDRESS	A3 SHEET	0124-1641
				2 MURAC STREET GOULBURN NSW 2580	DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
					DA-05	A

TIM LEE ARCHITECTS
residential commercial industrial
P: 02 4822 5934
ABN: 71425067537
ROSS PLACE
GOULBURN NSW
2580
NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030



MAUD STREET

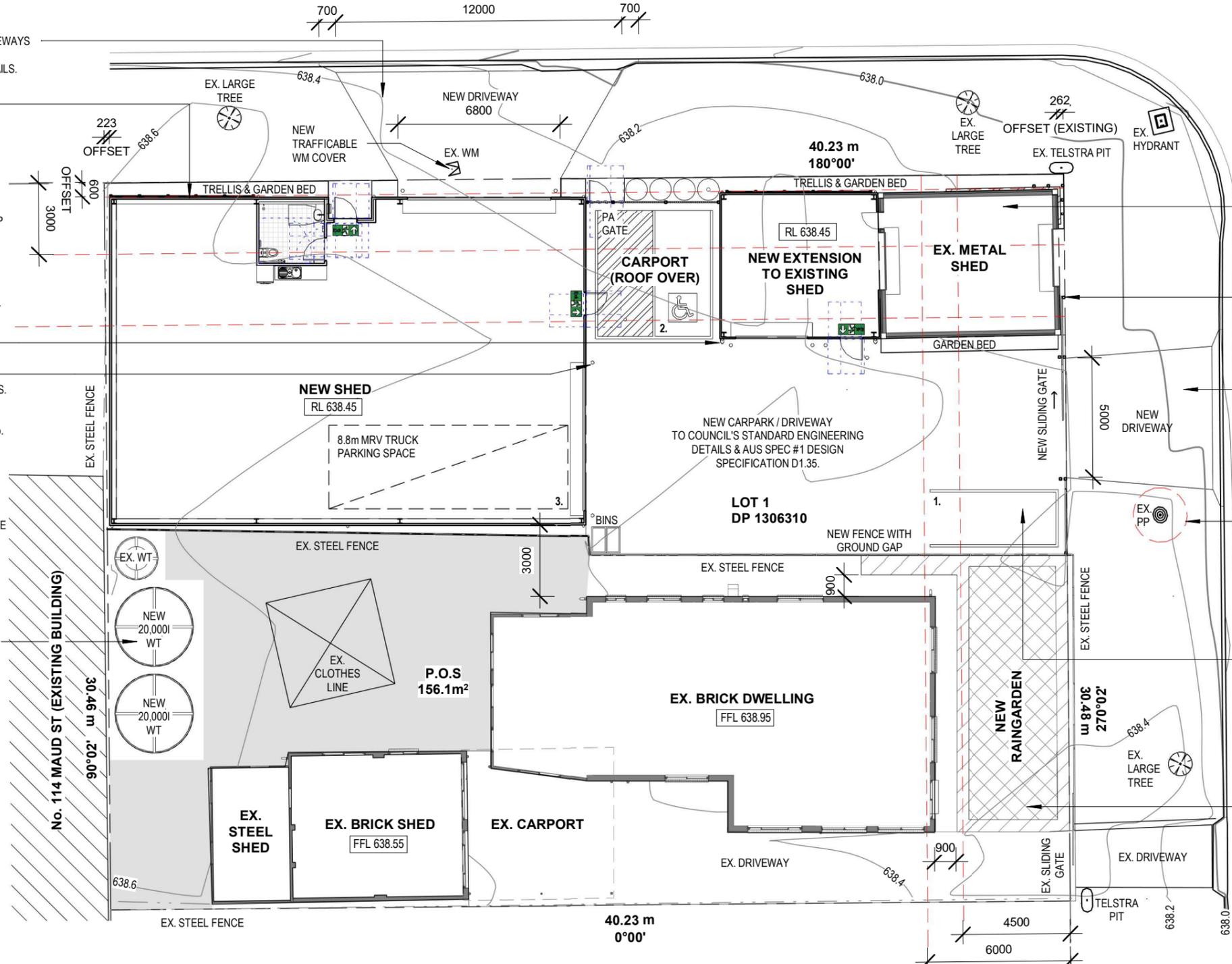
REINFORCED CONCRETE DRIVEWAYS & LAYBACKS TO COUNCIL'S STANDARD ENGINEERING DETAILS.

ALL AREAS OF THE BUILDING (INCLUDING OPENINGS) THAT ARE WITHIN 3m OF THE BOUNDARY TO BE FIRE RATED TO MEET NCC C2D2 (TYPE C CONSTRUCTION) & SPEC 5 S5C24.

SOLID WALL MOUNTED, HOT DIP GALVANISED, HEAVY DUTY DOWNPIPE PROTECTOR GUARDS, SIZED TO SUIT DOWNPIPE SIZE, FABRICATED FROM 5mm CHEQUERPLATE STEEL, FIX THROUGH TO STEEL STRUCTURE & INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

FIXED HEAVY DUTY STEEL BOLLARDS TO PROTECT DOORS. 10mm BASE PLATE 250x250mm. FIX INTO 350Ø 600 DEEP MASS CONCRETE FOOTING WITH 4 No. M16 CHEMSET ANCHOR MIN. 150mm EMBEDMENT. HOT DIP GALVANISED FINISH WITH SAFETY YELLOW POWDERCOATING. CAST ALUMINIUM CAPS WITH STANDARD CLASS 1 REFLECTIVE BAND. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

2 x 20,000L WATER TANKS ON 100mm CONCRETE SLAB, CONNECT OVERFLOW TO EXISTING STORMWATER SYSTEM.



EXISTING METAL SHED FOR DA & BIC APPROVAL.

NEW FRONT FENCE, PA GATE (920mm DL) & 5w x 2.1h m AUTOMATIC SLIDING GATE TO FRONT BOUNDARY TO BE POWDERCOAT STEEL PALISADE FENCE & GATES. ALL GATE CIRCULATION SPACES TO MEET AS1428.1.

REINFORCED CONCRETE DRIVEWAYS & LAYBACKS TO COUNCIL'S STANDARD ENGINEERING DETAILS.

LOCATION OF EXISTING POWERPOLE WITH 1m CLEARANCE ZONE SHOWN DASHED RED.

ONSITE CARPARKING & ACCESSIBLE PARKING IN ACCORDANCE WITH AS2890.1, AS2890.6 & COUNCIL'S STANDARD ENGINEERING DETAILS.

BIORETENTION BASIN 38m² OF EXTENDED DETENTION 100mm DEEP & 5m² OF FILTER MATERIAL 300mm DEEP. REFER TO HYDRAULIC ENGINEER'S DETAILS.

ALL LEVELS ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE: SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.

SITE AREA	1225.85 m ²
-----------	------------------------

EX. METAL SHED	46.39 m ²
NEW CARPORT	33.28 m ²
NEW EXTENSION SHED	40.90 m ²
NEW SHED	270.83 m ²
	391.40 m ²

EX. STEEL SHED	18.70 m ²
EX. CARPORT	32.93 m ²
EX. BRICK SHED	46.33 m ²
EX. RESIDENCE	158.08 m ²
	256.03 m ²

NOTE: THE ACCESSIBLE CARPARK SPACE HAS BEEN SHOWN COMPLIANT WITH AS2890.6, HOWEVER, WHEN CONSTRUCTED THE SIGNAGE IS NOT REQUIRED AS THE CARPARK IS NOT MORE THAN 5 CARPARKING SPACES TO MEET NCC D4D6 (1) (d) WHICH STATES: (1) ACCESSIBLE CARPARKING SPACES - (d) NEED NOT BE IDENTIFIED WITH SIGNAGE WHERE THERE IS A TOTAL OF NOT MORE THAN 5 CARPARKING SPACES, SO AS TO RESTRICT THE USE OF THE CARPARKING SPACE ONLY FOR PEOPLE WITH A DISABILITY.

INGRESS INTO & EGRESS FROM THE SITE, CARPARKING & ACCESS, DRIVEWAY WIDTHS & TURNING CIRCLES MUST BE DESIGNED INSTALLED TO MEET AS2890, AS1428, NCC, & COUNCIL'S STANDARD ENGINEERING DETAILS.

1 PROPOSED SITE PLAN
1:200 @ A3



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DRAWING AMENDMENTS		
REVISION	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025

PROJECT TITLE	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED
CLIENT	C. JAMES
Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	

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residential commercial industrial
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ABN: 71425067537
ROSS PLACE
GOULBURN NSW
2580
NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030

DRAWING TITLE	PROPOSED SITE PLAN
LOT AND DEPOSITED PLAN NO.	LOT 1 DP 1306310
STREET ADDRESS	2 MURAC STREET GOULBURN NSW 2580

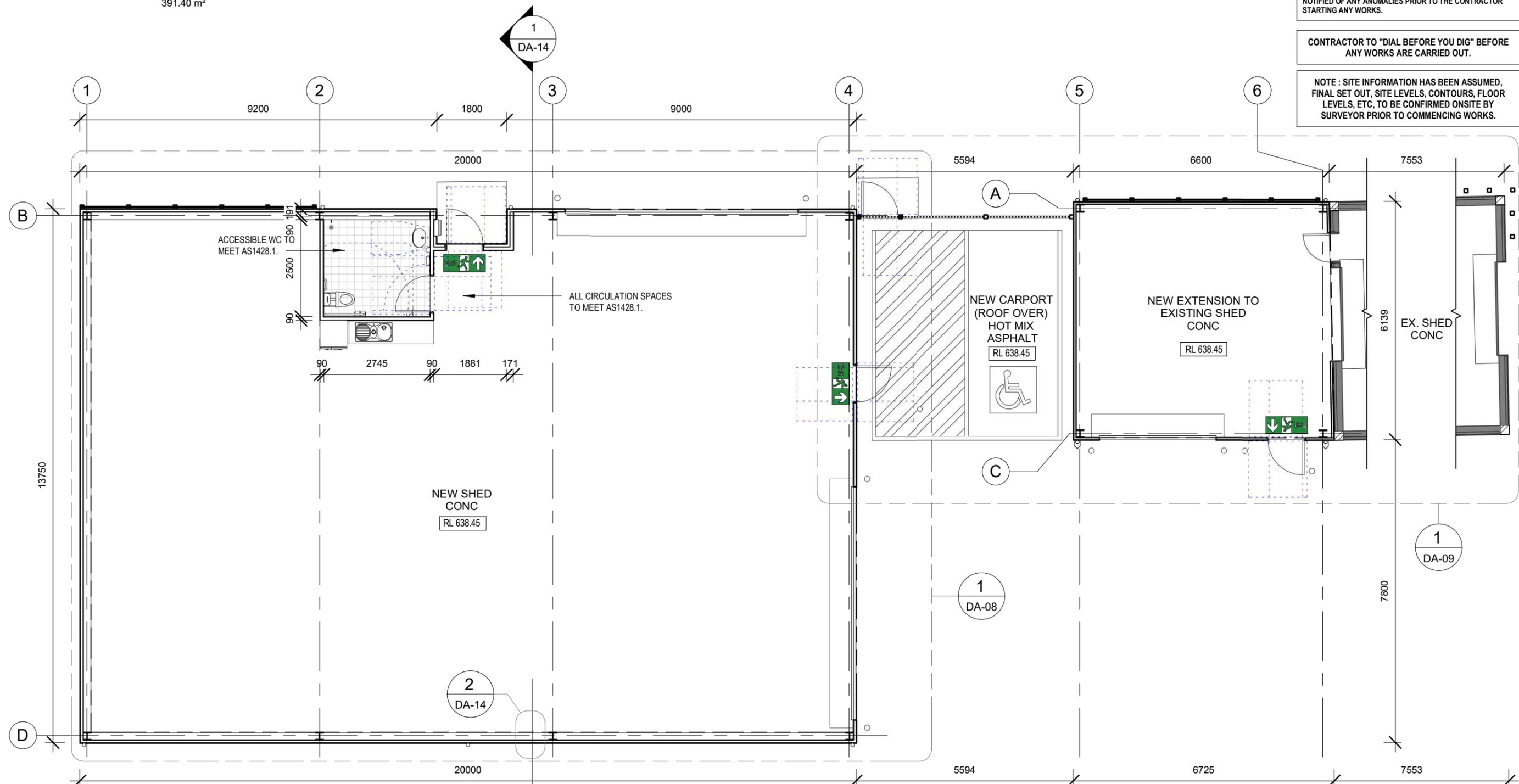
DRAWING COMMENCED	APRIL 24	DRAWING VERIFIED BY	TL
DRAWING SCALE	As indicated	DRAWN BY	AW
AT SHEET SIZE	A3 SHEET	JOB NUMBER	0124-1641
DRAWING IDENTIFICATION NUMBER	DA-06	AMENDMENT ISSUE	A

EX. METAL SHED	46.39 m ²
NEW CARPORT	33.28 m ²
NEW EXTENSION SHED	40.90 m ²
NEW SHED	270.83 m ²
	391.40 m ²

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NOTE : SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.



1 PROPOSED SHED FLOOR PLAN
1 : 100 @ A3

ISSUED FOR
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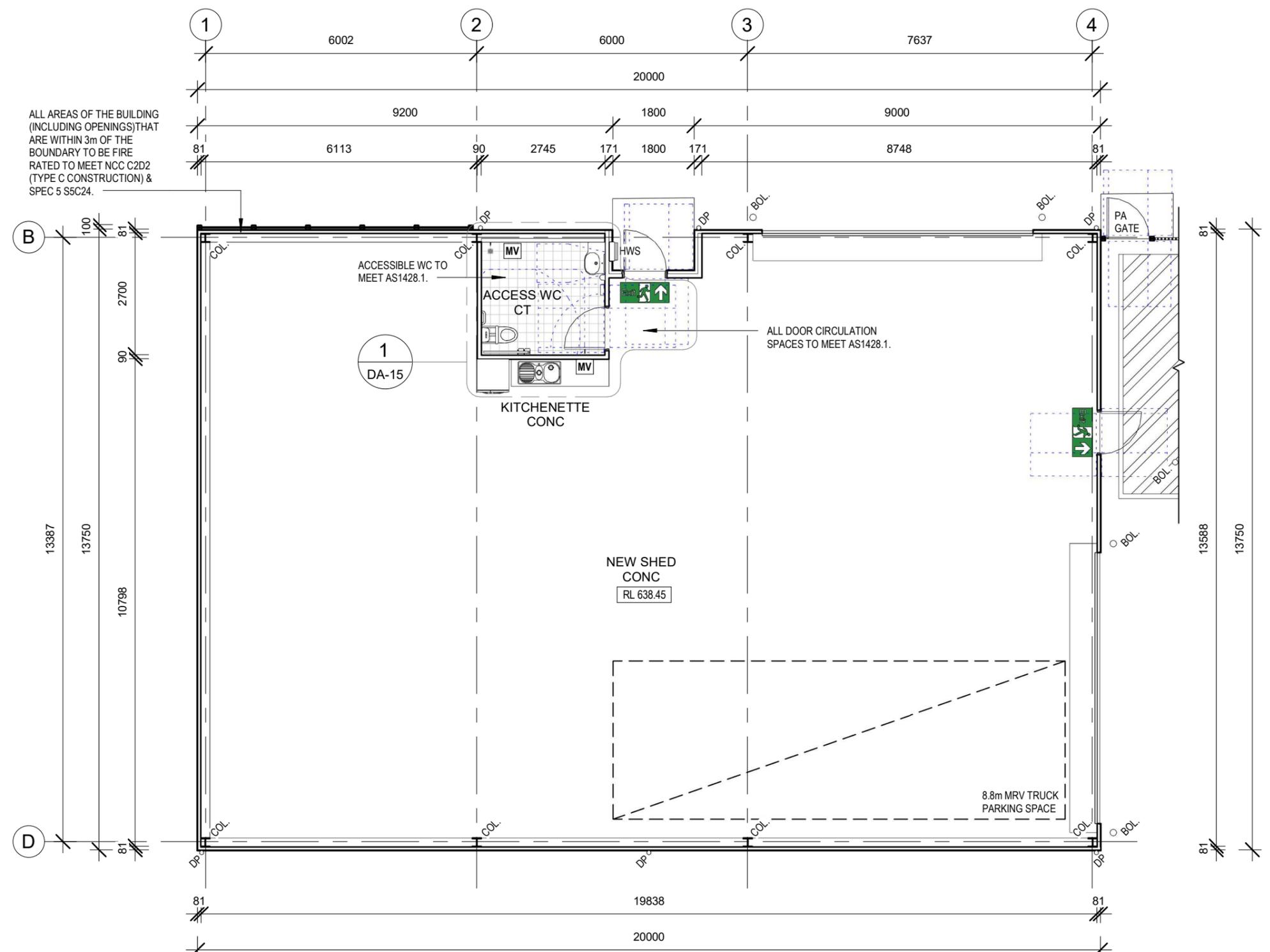
DRAWING AMENDMENTS			PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		DRAWING TITLE PROPOSED OVERALL SHED FLOOR PLAN		DRAWING COMMENCED APRIL 24		DRAWING VERIFIED BY TL	
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310		DRAWING SCALE 1 : 100		DRAWN BY AW	
<small>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</small>			NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030		STREET ADDRESS 2 MURAC STREET GOULBURN NSW 2580		AT SHEET SIZE A3 SHEET		JOB NUMBER 0124-1641	
							DRAWING IDENTIFICATION NUMBER DA-07		AMENDMENT ISSUE A	

ALL LEVELS ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

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EX. METAL SHED	46.39 m ²
NEW CARPORT	33.28 m ²
NEW EXTENSION SHED	40.90 m ²
NEW SHED	270.83 m ²
	391.40 m ²



1 PROPOSED SHED FLOOR PLAN - PART A
1 : 100 @ A3



ISSUED FOR
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NOT FOR CONSTRUCTION

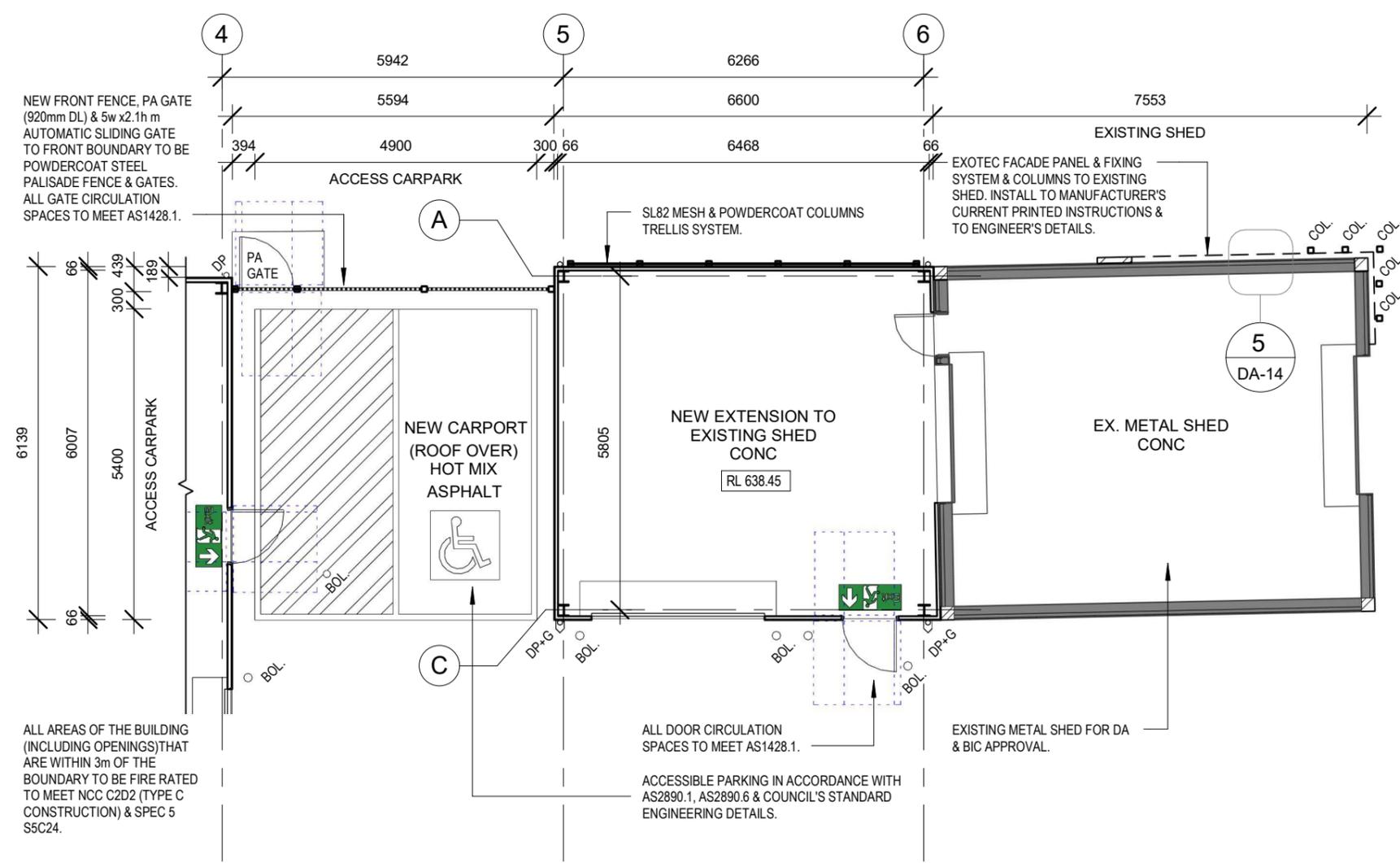
DRAWING AMENDMENTS			PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		DRAWING TITLE PROPOSED SHED FLOOR PLAN - PART A		DRAWING COMMENCED APRIL 24		DRAWING VERIFIED BY TL	
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310		DRAWING SCALE 1 : 100		DRAWN BY AW	
<small>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</small>			NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030		STREET ADDRESS 2 MURAC STREET GOULBURN NSW 2580		AT SHEET SIZE A3 SHEET		JOB NUMBER 0124-1641	
							DRAWING IDENTIFICATION NUMBER DA-08		AMENDMENT ISSUE A	

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EX. METAL SHED	46.39 m ²
NEW CARPORT	33.28 m ²
NEW EXTENSION SHED	40.90 m ²
NEW SHED	270.83 m ²
	391.40 m ²



NEW FRONT FENCE, PA GATE (920mm DL) & 5w x2.1h m AUTOMATIC SLIDING GATE TO FRONT BOUNDARY TO BE POWDERCOAT STEEL PALISADE FENCE & GATES. ALL GATE CIRCULATION SPACES TO MEET AS1428.1.

ALL AREAS OF THE BUILDING (INCLUDING OPENINGS) THAT ARE WITHIN 3m OF THE BOUNDARY TO BE FIRE RATED TO MEET NCC C2D2 (TYPE C CONSTRUCTION) & SPEC 5 S5C24.

ALL DOOR CIRCULATION SPACES TO MEET AS1428.1.

ACCESSIBLE PARKING IN ACCORDANCE WITH AS2890.1, AS2890.6 & COUNCIL'S STANDARD ENGINEERING DETAILS.

EXISTING METAL SHED FOR DA & BIC APPROVAL.

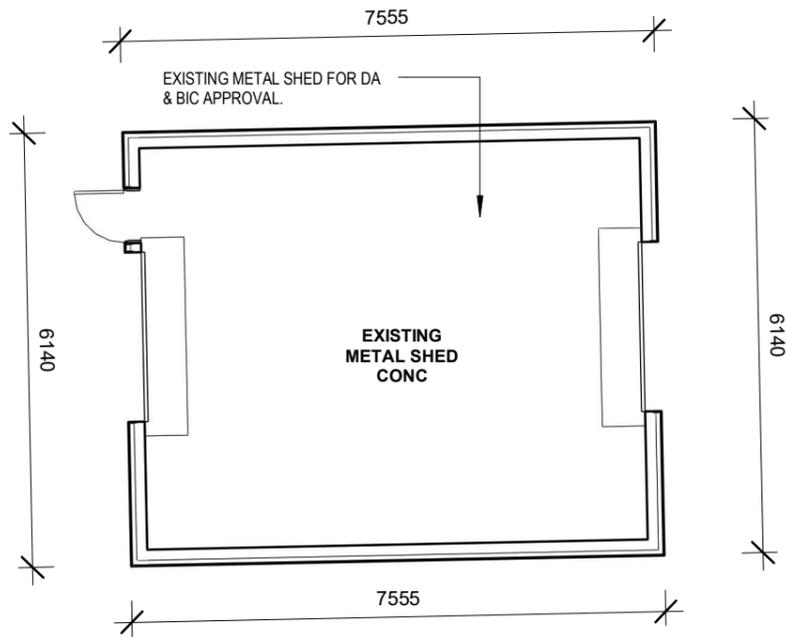
1 PROPOSED SHED FLOOR PLAN - PART B
1 : 100 @ A3



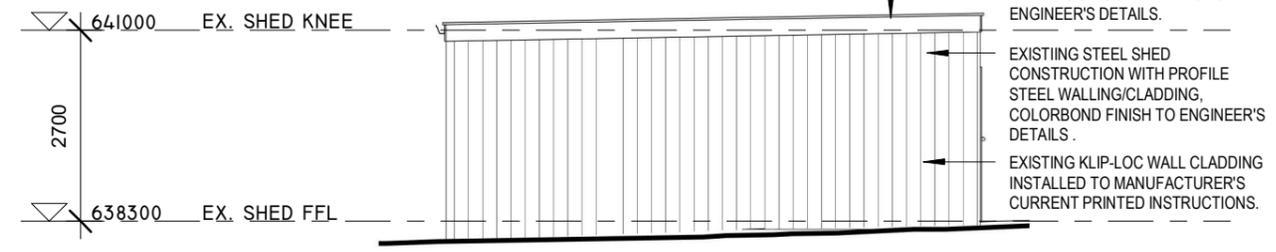
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DRAWING AMENDMENTS			PROJECT TITLE	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED	PROPOSED SHED FLOOR PLAN - PART B	APRIL 24	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025	CLIENT	LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
			C. JAMES	LOT 1 DP 1306310	1 : 100	AW
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	STREET ADDRESS	AT SHEET SIZE	JOB NUMBER
				2 MURAC STREET GOULBURN NSW 2580	A3 SHEET	0124-1641
					DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
					DA-09	A

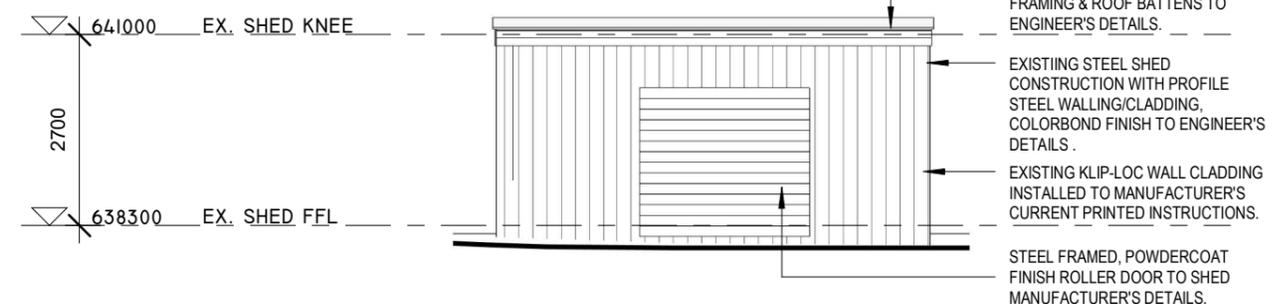
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ROSS PLACE
GOULBURN NSW
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NOMINATED ARCHITECT:
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NSW REG: 7304
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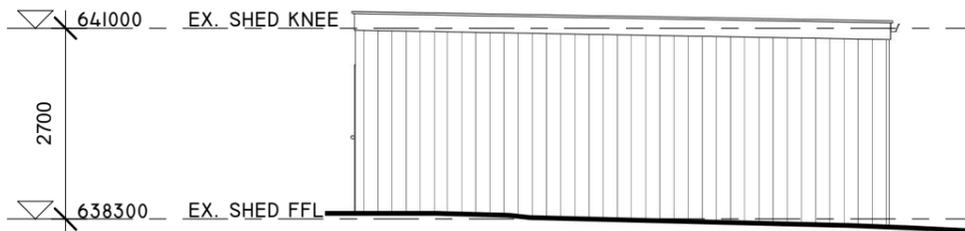
1 EXISTING FLOOR PLAN - EX. METAL SHED (DA & BIC)
1 : 100 @ A3



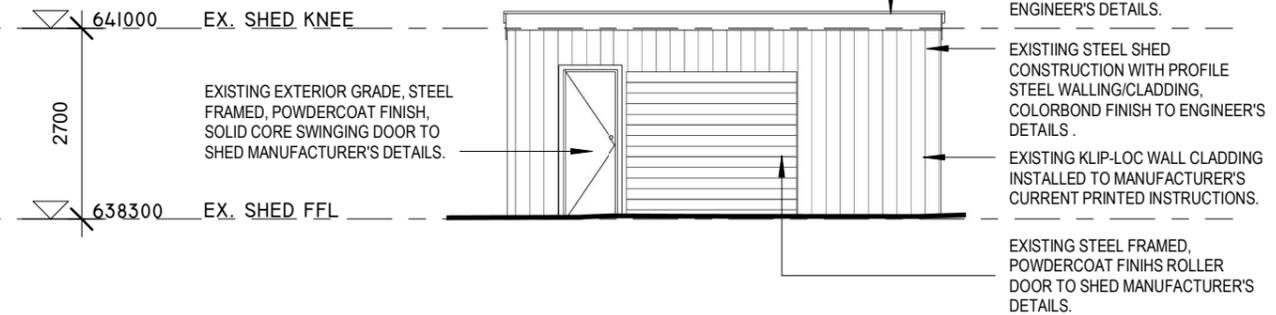
2 EXISTING EAST ELEVATION - EX. METAL SHED (DA & BIC)
1 : 100 @ A3



3 EXISTING SOUTH ELEVATION - EX. METAL SHED (DA & BIC)
1 : 100 @ A3



4 EXISTING WEST ELEVATION - EX. METAL SHED (DA & BIC)
1 : 100 @ A3



5 EXISTING NORTH ELEVATION - EX. METAL SHED (DA & BIC)
1 : 100 @ A3

EXISTING KLIP-LOK SHEET STEEL ROOFING (COLORBOND FINISH), COLORBOND FASCIAS, DOWNPIPES, GUTTERS & FLASHINGS INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO ENGINEER'S DETAILS.

EXISTING STEEL SHED CONSTRUCTION WITH PROFILE STEEL WALLING/CLADDING, COLORBOND FINISH TO ENGINEER'S DETAILS.

EXISTING KLIP-LOC WALL CLADDING INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

EXISTING KLIP-LOK SHEET STEEL ROOFING (COLORBOND FINISH), COLORBOND FASCIAS, DOWNPIPES, GUTTERS & FLASHINGS INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO ENGINEER'S DETAILS.

EXISTING STEEL SHED CONSTRUCTION WITH PROFILE STEEL WALLING/CLADDING, COLORBOND FINISH TO ENGINEER'S DETAILS.

EXISTING KLIP-LOC WALL CLADDING INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

STEEL FRAMED, POWDERCOAT FINISH ROLLER DOOR TO SHED MANUFACTURER'S DETAILS.

EXISTING KLIP-LOK SHEET STEEL ROOFING (COLORBOND FINISH), COLORBOND FASCIAS, DOWNPIPES, GUTTERS & FLASHINGS INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO ENGINEER'S DETAILS.

EXISTING STEEL SHED CONSTRUCTION WITH PROFILE STEEL WALLING/CLADDING, COLORBOND FINISH TO ENGINEER'S DETAILS.

EXISTING KLIP-LOC WALL CLADDING INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

EXISTING STEEL FRAMED, POWDERCOAT FINISH ROLLER DOOR TO SHED MANUFACTURER'S DETAILS.

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EX. METAL SHED	46.39 m ²
----------------	----------------------



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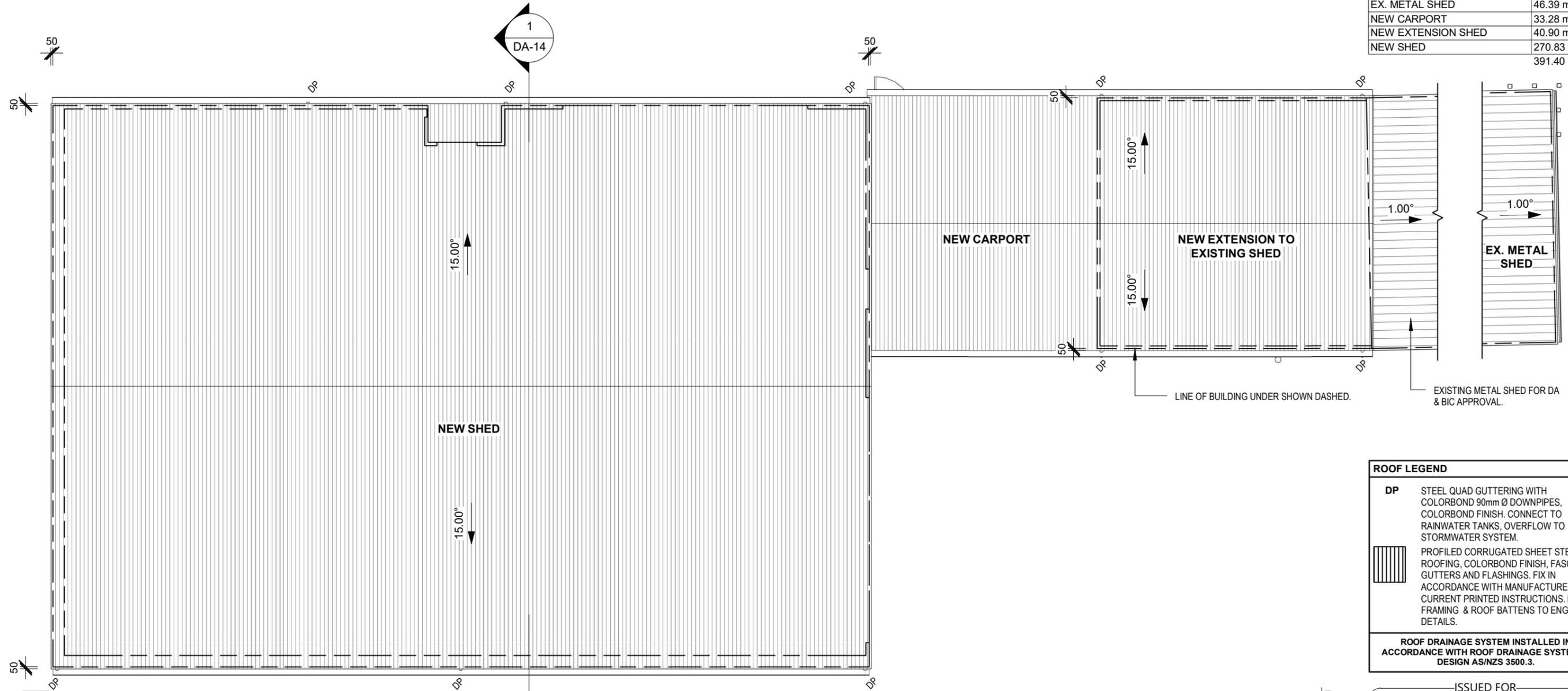
DRAWING AMENDMENTS			PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		DRAWING TITLE EXISTING METAL SHED (DA & BIC) - PLAN & ELEVATIONS		DRAWING COMMENCED APRIL 24		DRAWING VERIFIED BY TL	
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES	TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310		DRAWING SCALE 1 : 100	DRAWN BY AW	
Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.					STREET ADDRESS 2 MURAC STREET GOULBURN NSW 2580		AT SHEET SIZE A3 SHEET	JOB NUMBER 0124-1641		
							DRAWING IDENTIFICATION NUMBER DA-10	AMENDMENT ISSUE A		

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EX. METAL SHED	46.39 m ²
NEW CARPORT	33.28 m ²
NEW EXTENSION SHED	40.90 m ²
NEW SHED	270.83 m ²
	391.40 m ²



ROOF LEGEND	
DP	STEEL QUAD GUTTERING WITH COLORBOND 90mm Ø DOWNPIPES, COLORBOND FINISH. CONNECT TO RAINWATER TANKS, OVERFLOW TO STORMWATER SYSTEM.
	PROFILED CORRUGATED SHEET STEEL ROOFING, COLORBOND FINISH, FASCIAS, GUTTERS AND FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO ENGINEER'S DETAILS.
ROOF DRAINAGE SYSTEM INSTALLED IN ACCORDANCE WITH ROOF DRAINAGE SYSTEMS - DESIGN AS/NZS 3500.3.	

1 PROPOSED SHED ROOF PLAN
1 : 100 @ A3

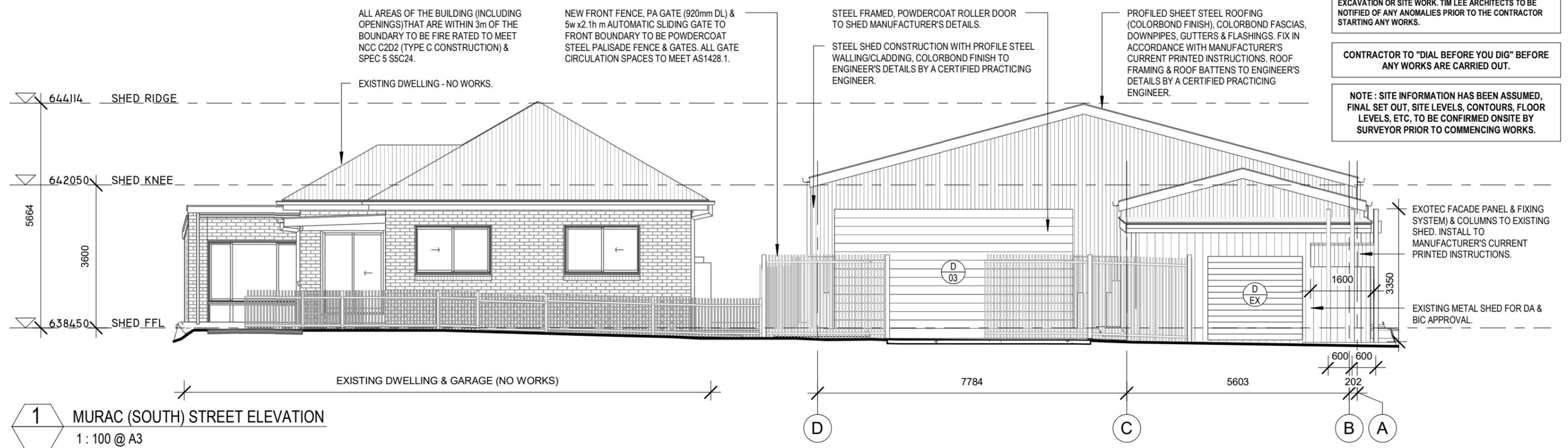
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DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS		PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED	DRAWING TITLE PROPOSED SHED ROOF PLAN	DRAWING COMMENCED APRIL 24	DRAWING VERIFIED BY TL
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	CLIENT C. JAMES	LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310	DRAWING SCALE As indicated	DRAWN BY AW
	DATE 20.03.2025	TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	STREET ADDRESS 2 MURAC STREET GOULBURN NSW 2580	AT SHEET SIZE A3 SHEET	JOB NUMBER 0124-1641
Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.				DRAWING IDENTIFICATION NUMBER DA-11	AMENDMENT ISSUE A

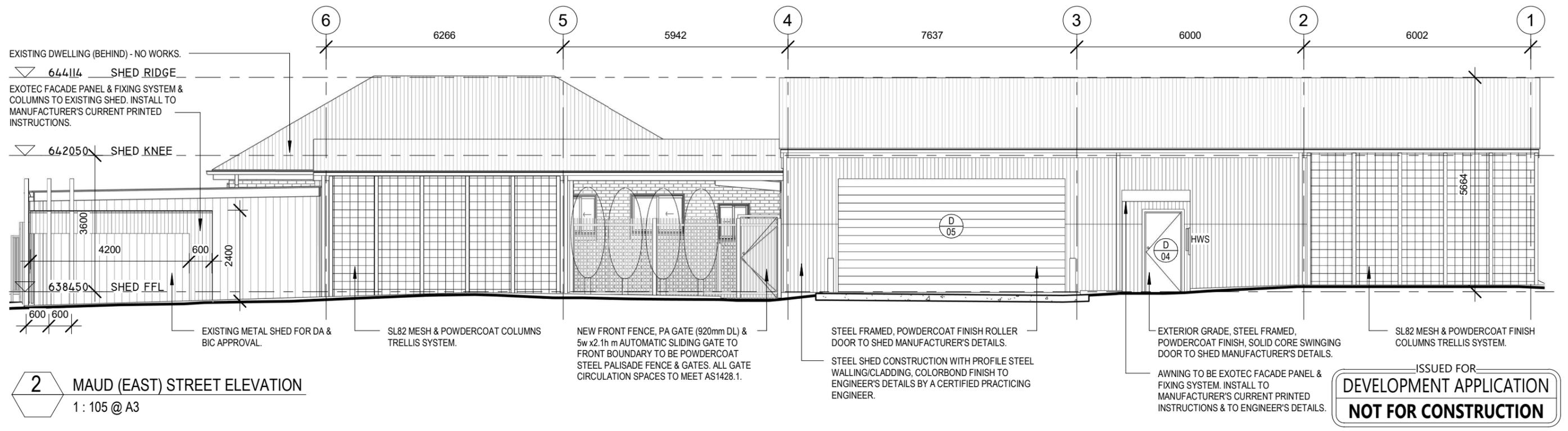
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1 MURAC (SOUTH) STREET ELEVATION
1 : 100 @ A3



2 MAUD (EAST) STREET ELEVATION
1 : 105 @ A3

ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS		
REVISION	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025

PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED
CLIENT C. JAMES
Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.

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ROSS PLACE
GOULBURN NSW
2580
NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030

DRAWING TITLE PROPOSED ELEVATIONS 1
LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310
STREET ADDRESS 2 MURAC STREET GOULBURN NSW 2580

DRAWING COMMENCED APRIL 24	DRAWING VERIFIED BY TL
DRAWING SCALE As indicated	DRAWN BY AW
AT SHEET SIZE A3 SHEET	JOB NUMBER 0124-1641
DRAWING IDENTIFICATION NUMBER DA-12	AMENDMENT ISSUE A

AWNING TO BE EXOTEC FACADE PANEL & FIXING SYSTEM. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

STEEL SHED CONSTRUCTION WITH PROFILE STEEL WALLING/CLADDING, COLORBOND FINISH TO ENGINEER'S DETAILS BY A CERTIFIED PRACTICING ENGINEER.

PROFILED SHEET STEEL ROOFING (COLORBOND FINISH), COLORBOND FASCIAS, DOWNPIPES, GUTTERS & FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO ENGINEER'S DETAILS BY A CERTIFIED PRACTICING ENGINEER.

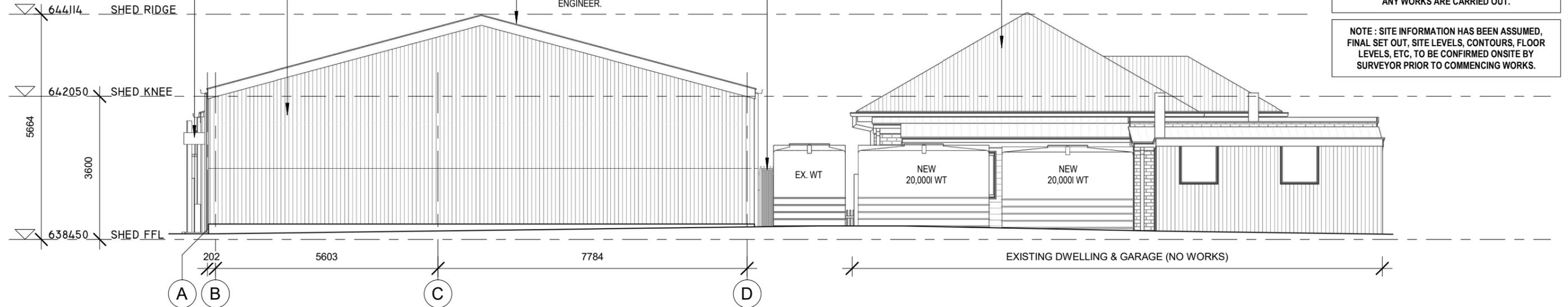
NEW FRONT FENCE, PA GATE (920mm DL) & 5w x 2.1h m AUTOMATIC SLIDING GATE TO FRONT BOUNDARY TO BE POWDERCOAT STEEL PALISADE FENCE & GATES. ALL GATE CIRCULATION SPACES TO MEET AS1428.1.

ALL AREAS OF THE BUILDING (INCLUDING OPENINGS) THAT ARE WITHIN 3m OF THE BOUNDARY TO BE FIRE RATED TO MEET NCC C2D2 (TYPE C CONSTRUCTION) & SPEC 5 S5C24.

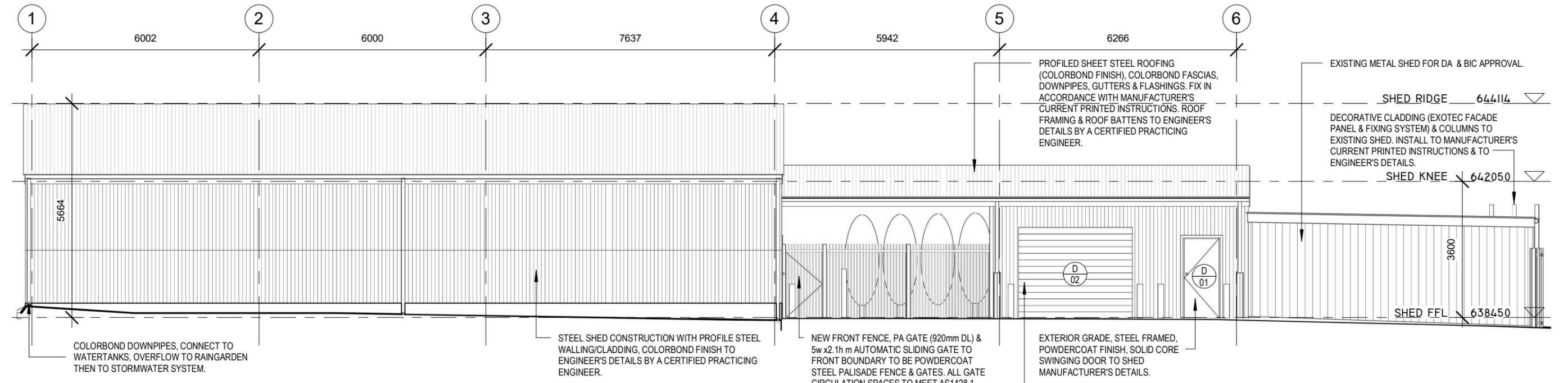
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CONTRACTOR TO "DIAL BEFORE YOU DIG" BEFORE ANY WORKS ARE CARRIED OUT.

NOTE: SITE INFORMATION HAS BEEN ASSUMED, FINAL SET OUT, SITE LEVELS, CONTOURS, FLOOR LEVELS, ETC, TO BE CONFIRMED ONSITE BY SURVEYOR PRIOR TO COMMENCING WORKS.



1 PROPOSED NORTH ELEVATION
1:100 @ A3



2 PROPOSED WEST ELEVATION
1:105 @ A3

ISSUED FOR
DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS		
REVISION	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025

PROJECT TITLE	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED
CLIENT	C. JAMES
<small>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</small>	

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ROSS PLACE
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ACT REG: 1030

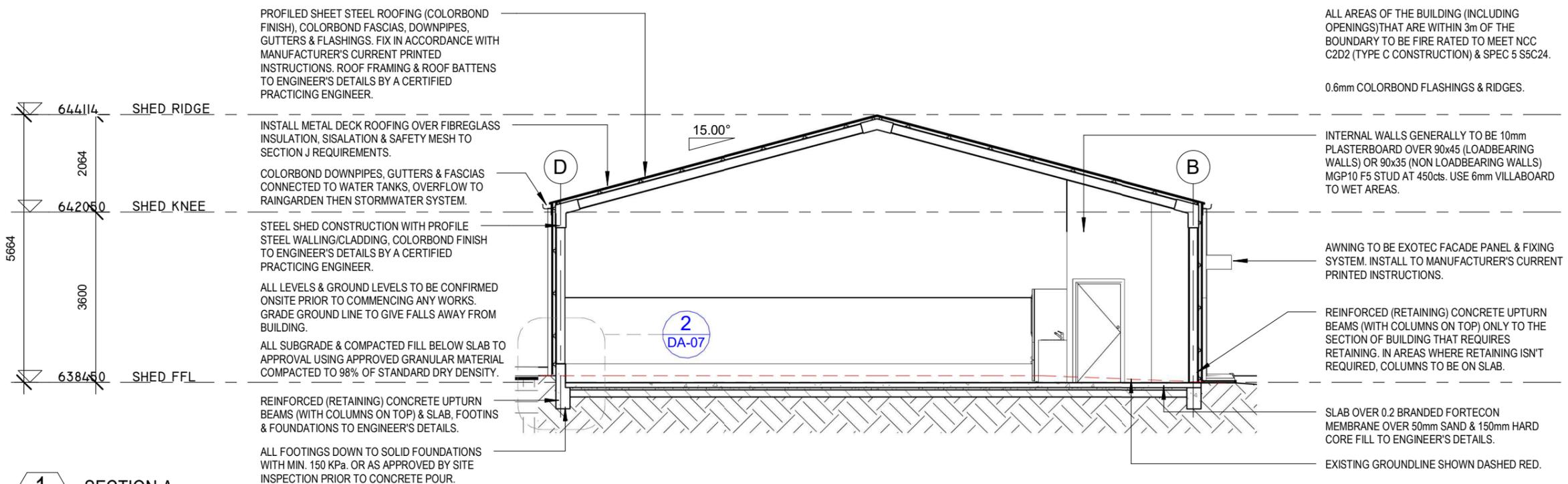
DRAWING TITLE	PROPOSED ELEVATIONS 2
LOT AND DEPOSITED PLAN NO.	LOT 1 DP 1306310
STREET ADDRESS	2 MURAC STREET GOULBURN NSW 2580

DRAWING COMMENCED	APRIL 24	DRAWING VERIFIED BY	TL
DRAWING SCALE	As indicated	DRAWN BY	AW
AT SHEET SIZE	A3 SHEET	JOB NUMBER	0124-1641
DRAWING IDENTIFICATION NUMBER	DA-13	AMENDMENT ISSUE	A

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1 SECTION A
1 : 100 @ A3

GENERAL NOTES:

PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS 3660.1 & 3660.2.

INSTALL HARD WIRED SMOKE ALARMS TO AS 3786.

ALL WALLS TO BE FULLY SARKED, CSR BRADFORD WALLWRAP XP OR EQUAL.

RANGE HOODS EXHAUST SYSTEMS TO HAVE A MINIMUM FLOW RATE OF 40L/s.

EXHAUSTS FROM BATHROOMS & LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR. MECHANICAL VENTILATION & LIGHTING TO MEET PART F4 OF THE BCA. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

CONNECT ALL NEW DOWNPIPES TO NEW WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

GRADE GROUND LINE TO GIVE FALLS AWAY FROM BUILDING.

INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

CONCRETE SLABS & FOUNDATIONS

ALL SUB-GRADE & COMPACTED FILL BELOW SLAB TO APPROVAL USING APPROVED GRANULAR MATERIAL COMPACTED TO 98% OF STANDARD DRY DENSITY. ALL FOOTINGS DOWN TO SOLID FOUNDATIONS WITH MIN. 150KPa. OR A APPROVED BY ENGINEER SITE INSPECTION PRIOR TO CONCRETE POUR.

A JAS-ANZ ACCREDITED 3RD PARTY PROCESSOR CERTIFICATE (ACRS OR EQUIVALENT) MUST BE SUPPLIED WITH ALL STEEL REINFORCEMENT AT PROCUREMENT, BEFORE ANY CONCRETE IS PLACED, TO GUARANTEE CONFORMANCE OF THE REINFORCEMENT TO AS/NZS 4671.

MINIMUM BEARING PRESSURE 150KPa. ONO.

CONCRETE SLABS & FOUNDATIONS

FILL & FILL COMPACTION TO ENGINEER'S DETAILS.

50mm SET DOWN FOR THRESHOLD AT ROLLER DOOR OPENING.

50mm SET DOWN FOR WET AREAS.

FRAMING

TIMBER FRAME BRACING, TIE-DOWNS & JOINT SCHEDULE TO BE DESIGNED & CERTIFIED BY THE FRAME FABRICATOR IN ACCORDANCE WITH AS1684 (NATIONAL TIMBER FRAMING CODE). STEEL TO ENGINEER'S DETAILS.

CEILING

10mm PLASTERBOARD CEILING LINING SCREW FIXED TO 'RONDO' CEILING BATTENS AT 450cts. 'RONDO' CEILING BATTENS NAILED TO UNDERSIDE OF TRUSSES OR JOISTS. INSTALL ALL FITTINGS & FIXTURES TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. 90mm STANDARD PROFILE PLASTERBOARD CORNICE.

WALLS

INTERNAL WALLS GENERALLY TO BE 10mm PLASTERBOARD OVER 90x45 (LOADBEARING WALLS) OR 90x35 (NON LOADBEARING WALLS) MGP10 F5 STUD AT 450cts. USE 6mm VILLABOARD TO WET AREAS.

EXTERIOR WALLS - CLADDING

EXTERIOR GRADE CLADDING OVER ENVIROSEAL OR BRADFORD WALLWRAP XP (BAL RATED). FIX INTERNAL LINING OVER INSULATION (REFER TO BASIX / NATHERS/ SECTION J REQUIREMENTS) & SISALATION. SELECTED COLOUR EXTERIOR PAINT TO A LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ROOF

PROFILED SHEET STEEL ROOFING (COLORBOND FINISH), COLORBOND FASCIAS, GUTTERS & FLASHINGS. FIX IN ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. ROOF FRAMING & ROOF BATTENS TO AS1684.

WET AREAS

WET AREAS SHOWN HATCHED, LAY SELECTED NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 ON MORTAR BED GRADED TO GIVE FALLS TO FW'S AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AUSTRALIAN STANDARDS.

THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLE BOARD OR TIMBER FLOORING.

PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS & REQUIREMENTS.

INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

TILING

TILING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS.

APPROPRIATE TRIMS & FINISH BEADS TO BE INSTALLED.

SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE REPREPARED & NEW MATCHING MATERIALS SUPPLIED & LAID AT CONTRACTOR'S EXPENSE.

REFER TO COMPLIANCE NOTE SHEET FOR GENERAL NOTES.

ALL AREAS OF THE BUILDING (INCLUDING OPENINGS) THAT ARE WITHIN 3m OF THE BOUNDARY TO BE FIRE RATED TO MEET NCC C2D2 (TYPE C CONSTRUCTION) & SPEC 5 S5C24.

0.6mm COLORBOND FLASHINGS & RIDGES.

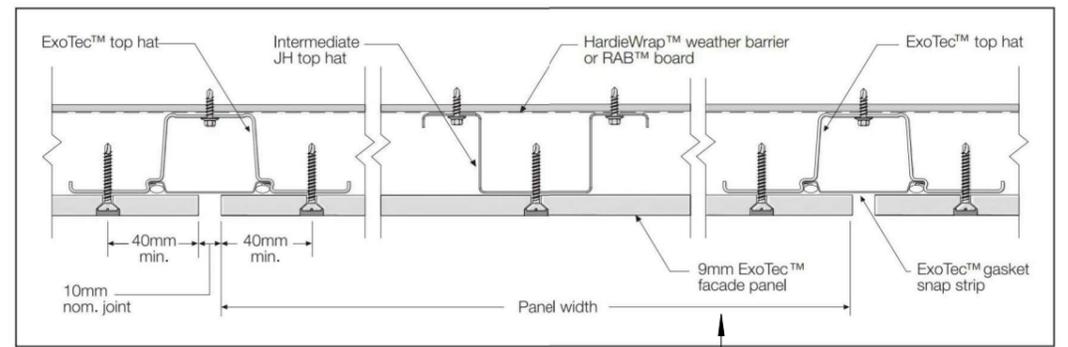
INTERNAL WALLS GENERALLY TO BE 10mm PLASTERBOARD OVER 90x45 (LOADBEARING WALLS) OR 90x35 (NON LOADBEARING WALLS) MGP10 F5 STUD AT 450cts. USE 6mm VILLABOARD TO WET AREAS.

AWNING TO BE EXOTEC FACADE PANEL & FIXING SYSTEM. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

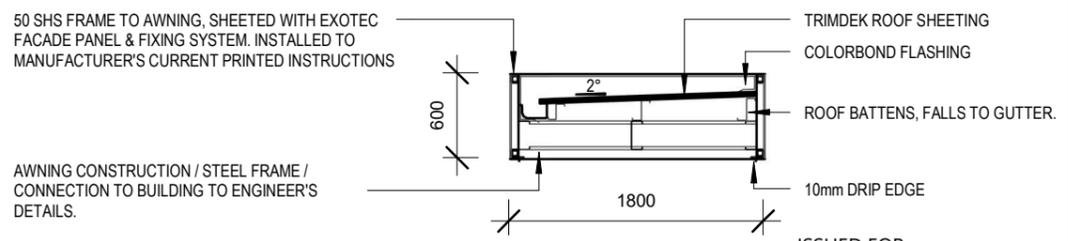
REINFORCED (RETAINING) CONCRETE UPTURN BEAMS (WITH COLUMNS ON TOP) ONLY TO THE SECTION OF BUILDING THAT REQUIRES RETAINING. IN AREAS WHERE RETAINING ISN'T REQUIRED, COLUMNS TO BE ON SLAB.

SLAB OVER 0.2 BRANDED FORTECON MEMBRANE OVER 50mm SAND & 150mm HARD CORE FILL TO ENGINEER'S DETAILS.

EXISTING GROUNDLINE SHOWN DASHED RED.



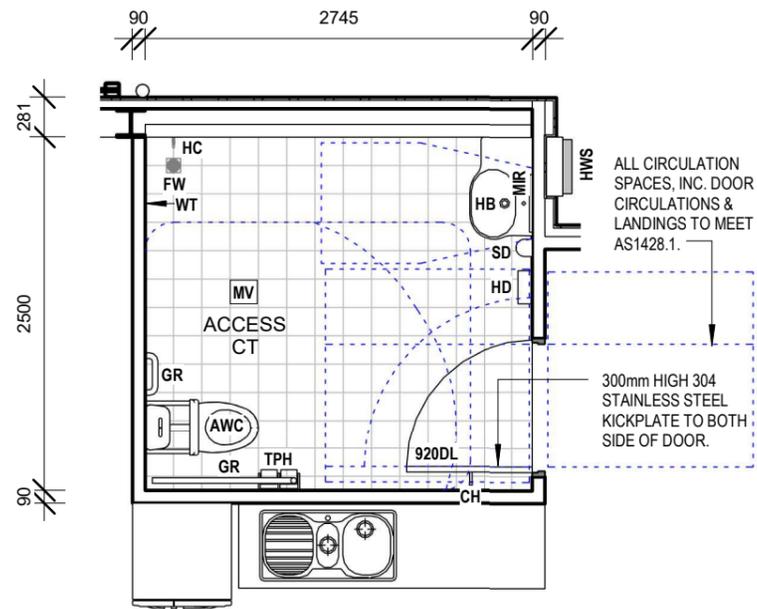
3 EXOTEC FACADE PANEL & FIXING SYSTEM
NTS @ A3



4 TYPICAL AWNING DETAIL
1 : 50 @ A3

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DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED CLIENT C. JAMES <small>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</small>	TIM LEE ARCHITECTS <small>residential commercial industrial</small> P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE PROPOSED SECTION A LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310 STREET ADDRESS 2 MURAC STREET GOULBURN NSW 2580	DRAWING COMMENCED APRIL 24 DRAWING SCALE As indicated AT SHEET SIZE A3 SHEET DRAWING IDENTIFICATION NUMBER DA-14	DRAWING VERIFIED BY TL DRAWN BY AW JOB NUMBER 0124-1641 AMENDMENT ISSUE A
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025					



1 ACCESS WC FLOOR PLAN
1 : 50 @ A3

WET AREAS KEY	
FINAL COLOURS, MATERIALS & FITTINGS SELECTION BY CLIENT TO AS1428.1.	
CT	NON-SLIP CERAMIC FLOOR TILES & SKIRTING TILES, FULLY VITRIFIED, EQUAL TO MIN. R11 / P4 SLIP RATING. COVE TILE TO ALL WALL & FLOOR JUNCTIONS.
CH	CLOTHES HOOKS TO MEET AS1428.1.
WT	WALL TILES, COVE TILE TO ALL WALL & FLOOR JUNCTIONS.
TPH	TOILET PAPER DISPENSER TO MEET AS1428.1.
GR	STAINLESS STEEL GRABRAILS, MUST BE SECURELY FIXED TO THE WALL (INSTALL INWALL BRACING & SUPPORT HOLD RATING TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS) TO MEET AS1428.1.
AWC	WC, SEAT, CISTERN & BACKREST TO MEET AS1428.1.
MIR	POLISHED METAL MIRROR TO MEET AS1428.1.
HB	HAND BASIN WITH KNEE CLEARANCE & INTEGRATED SHELF TO MEET AS1428.1.
SD	SOAP DISPENSER TO MEET AS1428.1.
HD	HAND DRYER TO MEET AS1428.1.
HC	CLEANERS TAP / HOSE COCK TO MEET AS1428.1.
THERMOSTATIC MIXING VALVE TO HYDRAULIC ENGINEER'S DETAILS.	
GENERAL NOTES	
<ul style="list-style-type: none"> - 300mm STAINLESS STEEL KICKPLATE TO BOTH SIDES OF THE DOOR. - ENSURE LIGHT SWITCHES ARE AT A HEIGHT OF 900mm TO 1100mm & A MINIMUM OF 500mm FROM INTERNAL CORNERS IN ACCORDANCE WITH AS1428.1. - SIGNAGE IS REQUIRED TO BE INSTALLED IN ACCORDANCE WITH AS1428.1. - CLOTHES HANGING DEVICES SHALL BE INSTALLED 1200mm TO 1350mm HEIGHT & NOT LESS THAN 500mm FROM ANY INTERNAL CORNER IN ACCORDANCE WITH AS1428.1. - ALL DOOR CIRCULATION SPACES ARE REQUIRED TO MEET AS1428.1. 	
WATER CLOSETS	
<ul style="list-style-type: none"> - THE CISTERN MAY BE SURFACE MOUNTED OR FLUSH. IF A FLUSH CISTERN IS USED THE DEPTH OF THE TOILET FIXTURE SPACE MAY BE REDUCED ACCORDINGLY. - THIS CIRCULATION SPACE CAN OVERLAP ANY OTHER CIRCULATION SPACES. 	
BASIN	
<ul style="list-style-type: none"> - A FLOOR WASTE MAY BE USED IF THE WASTE ENTERS THE FLOOR OUTSIDE THE CIRCULATION SPACE. - THIS CIRCULATION SPACE CAN OVERLAP ANY OTHER CIRCULATION SPACES. 	
WET AREAS	
<ul style="list-style-type: none"> - WET AREAS SHOWN HATCHED, LAY NON-SLIP CERAMIC TILES TO EQUAL R11 / P4 SLIP RATING ON MORTAR BED GRADED TO GIVE FALLS TO FWS AS SHOWN. AREAS TO BE TREATED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS. - THE WATERPROOFING SYSTEM TO BE APPROPRIATE FOR THE BASE CONSTRUCTION. DO NOT WATERPROOF OVER PARTICLEBOARD OR TIMBER FLOORING. - PROVIDE EVIDENCE OF MANUFACTURER'S PRODUCT INSTALLATION DATA SHEETS & REQUIREMENTS. - INSTALL ALL PRODUCTS TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. 	
TILING	
<ul style="list-style-type: none"> - TILING TO BE COMPLETED WITH NO RAISED EDGES OR TIGHT JOINTS. - APPROPRIATE TRIMS & FINISH BEADS TO BE INSTALLED. - SUB-STANDARD TILING WILL BE REJECTED. REJECTED WORK TO BE REMOVED. BASE WORK IS TO BE REPREPARED & NEW MATCHING MATERIALS SUPPLIED & LAID AT CONTRACTOR'S EXPENSE. 	

THIS DOCUMENT IS PRODUCED AS A GUIDE ONLY. NOTE : NOT ALL SETOUT DIMENSIONS ARE SHOWN. REFER TO & VERIFY ALL DIMENSIONS, FITTINGS & FIXTURES, ETC, WITH THE CURRENT "AUSTRALIAN STANDARD AS1428.1:2009 AMENDMENT A, DESIGN FOR ACCESS & MOBILITY PART 1 : GENERAL REQUIREMENTS FOR ACCESS- NEW BUILDING WORK" & THE CURRENT DISABILITY (ACCESS TO PREMISES - BUILDINGS) STANDARDS", NCC & PLUMBING CODE OF AUSTRALIA.

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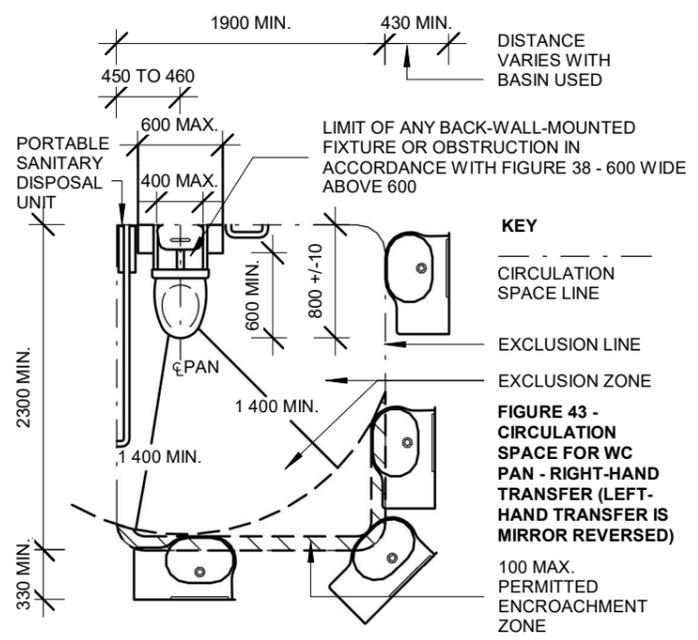
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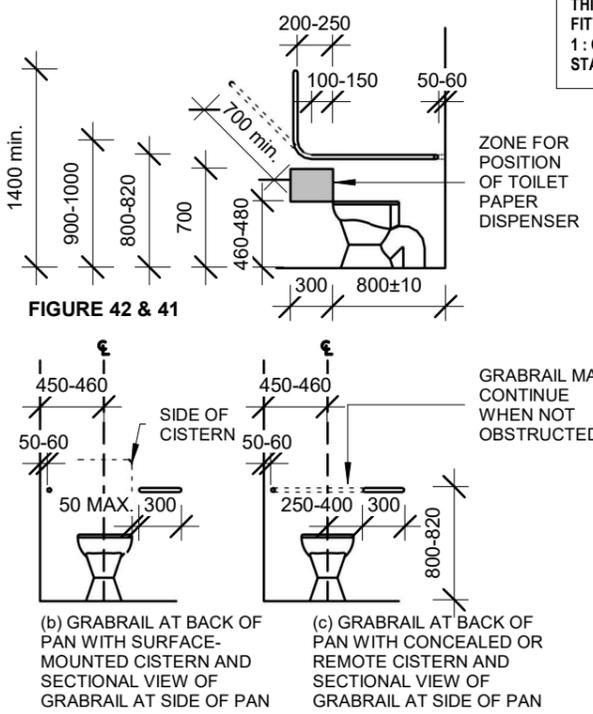
AS1428.1 ACCESS BATHROOM FLOORS 12.5.2

THE REQUIREMENTS FOR THE FLOOR WASTE OUTLETS ARE AS FOLLOWS:

- (a) THE FLOOR OF THE SHOWER RECESS & ASSOCIATED CIRCULATION SPACE SHALL BE SELF DRAINING & WITHOUT A STEP-DOWN, RAISED STEP KERB OR HOB AT THE ENTRY TO THE RECESS.
- (b) WHERE A CENTRAL WASTE OUTLET FOR THE SHOWER RECESS IS PROVIDED, THE WASTE OUTLET FOR THE SHOWER SHALL BE IN ACCORDANCE WITH FIGURE 47. ALTERNATIVELY, A LINEAR DRAIN MAY BE PROVIDED.
- (c) THE SLOPE OF THE FLOOR OF THE SHOWER RECESS TO A CENTRAL WASTE OUTLET SHALL HAVE A GRADIENT BETWEEN 1:60 & 1:80, AS SHOWN IN FIGURE 49. THE SLOPE OF THE FLOOR OF THE WHOLE SANITARY FACILITY TO A LINEAR DRAIN SHALL BE CONSTANT WITHIN THE RANGE OF 1 IN 50 AND 1 IN 90. NOTE : A LINEAR DRAIN MAY BE USED TO FACILITATE CONFORMANCE TO THESE GRADIENTS.
- (d) THE SLOPE OF FLOOR OF THE REMAINDER OF THE SANITARY FACILITY SHALL HAVE A GRADIENT BETWEEN 1:80 & 1:100, AS SHOWN IN FIGURE 49.



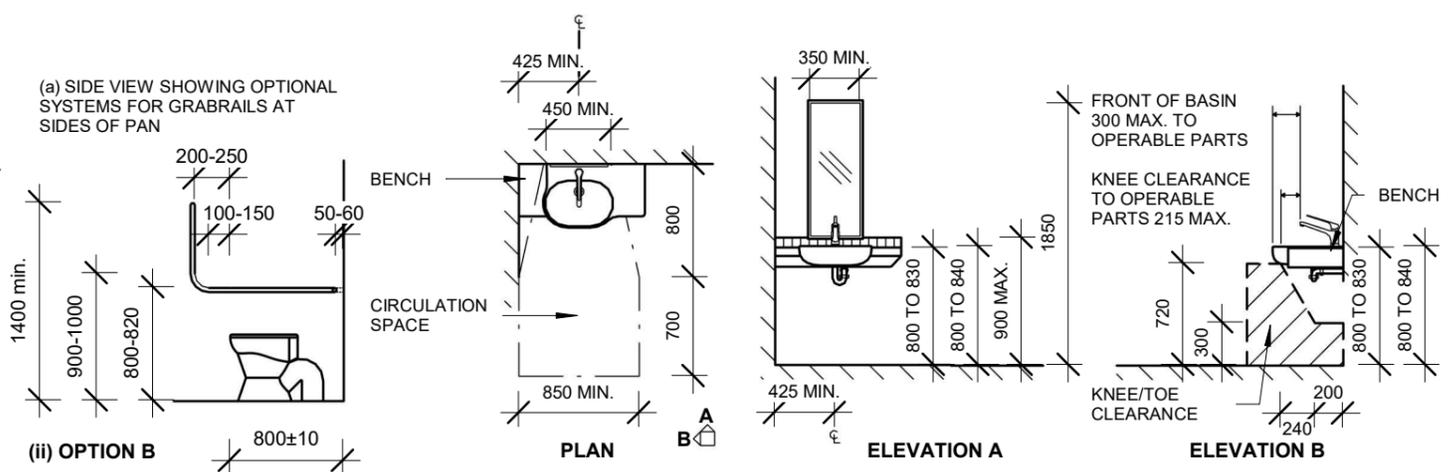
2 AS1428.1 WC CIRC FIGURE 43
1 : 50 @ A3



3 AS1428.1 GRABRAIL WC FIGURE 42
1 : 50 @ A3

FIGURE 42 - POSITION OF GRABRAILS IN WATER CLOSETS

FIGURE 44(A) - SEMI-RECESSED WASHBASIN INSTALLATION - OTHER THAN FOR SOLE-OCCUPANCY UNIT



4 AS1428.1 WASHBASIN FIGURE 44 (A)
1 : 50 @ A3

ISSUED FOR DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING AMENDMENTS			PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		DRAWING TITLE DETAILS - ACCESS TOILET		DRAWING COMMENCED APRIL 24		DRAWING VERIFIED BY TL	
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310		DRAWING SCALE As indicated		DRAWN BY AW	
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							DRAWING IDENTIFICATION NUMBER DA-15		AMENDMENT ISSUE A	

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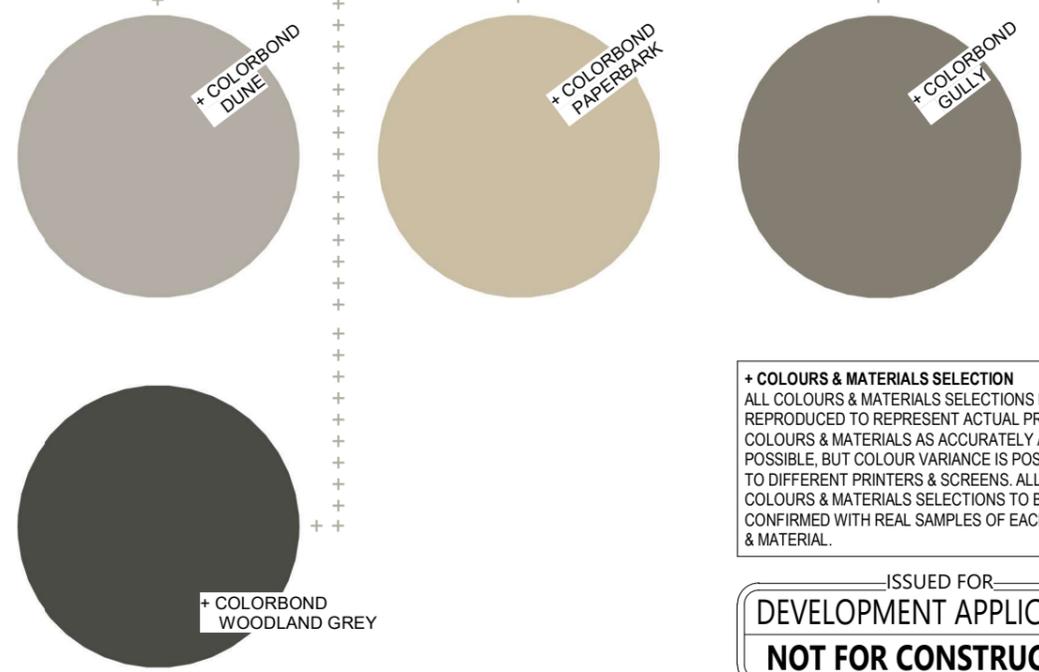
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1 STREESCAPE COLOURBOARD
@ A3

+ COLOURS & MATERIALS SCHEDULE		
+ BUILDING FABRIC	+ MATERIALS	+ COLOUR
ROOF	COLORBOND STEEL SHEETING	COLORBOND WOODLAND GREY
AWNING	EXOTEC FACADE PANEL & FIXING SYSTEM	COLORBOND PAPERBARK
FASCIA	COLORBOND STEEL SHEETING	COLORBOND WOODLAND GREY
GUTTERS	COLORBOND STEEL SHEETING	COLORBOND WOODLAND GREY
DOWNPIPES 1	COLORBOND STEEL	COLORBOND WOODLAND GREY
DOWNPIPES 2	COLORBOND STEEL	COLORBOND GULLY
FLASHING & RIDGES	COLORBOND STEEL SHEETING	COLORBOND WOODLAND GREY
WALLS 1	COLORBOND STEEL SHEETING	COLORBOND WOODLAND GREY
WALLS 2	COLORBOND STEEL SHEETING	COLORBOND GULLY
DECORATIVE CLADDING	EXOTEC FACADE PANEL & FIXING SYSTEM	COLORBOND WOODLAND GREY
DECORATIVE CLADDING COLUMNS	POWDERCOAT STEEL	COLORBOND WOODLAND GREY
DOORS - SWINGING	POWDERCOAT STEEL FRAMED	COLORBOND DUNE
DOORS - ROLLER	POWDERCOAT STEEL FRAMED	COLORBOND DUNE
TRELLIS - MESH	SL82 TRENCH MESH	SL82 TRENCH MESH
TRELLIS - COLUMNS	POWDERCOAT STEEL	COLORBOND WOODLAND GREY
FENCE	POWDERCOAT PALISADE	COLORBOND WOODLAND GREY
GATES - SWINGING	POWDERCOAT PALISADE	COLORBOND WOODLAND GREY
GATES - SLIDING	POWDERCOAT PALISADE	COLORBOND WOODLAND GREY
BOLLARDS - ACCESSIBLE	POWDERCOAT STEEL	AS 1428.1 BLUE
BOLLARDS - STANDARD	POWDERCOAT STEEL	AS2890.1 YELLOW
DOWNPIPE GUARDS	POWDERCOAT STEEL	AS2890.1 YELLOW



+ COLOURS & MATERIALS SELECTION
ALL COLOURS & MATERIALS SELECTIONS HAVE BEEN REPRODUCED TO REPRESENT ACTUAL PRODUCT COLOURS & MATERIALS AS ACCURATELY AS POSSIBLE, BUT COLOUR VARIANCE IS POSSIBLE DUE TO DIFFERENT PRINTERS & SCREENS. ALL FINAL COLOURS & MATERIALS SELECTIONS TO BE CONFIRMED WITH REAL SAMPLES OF EACH COLOUR & MATERIAL.

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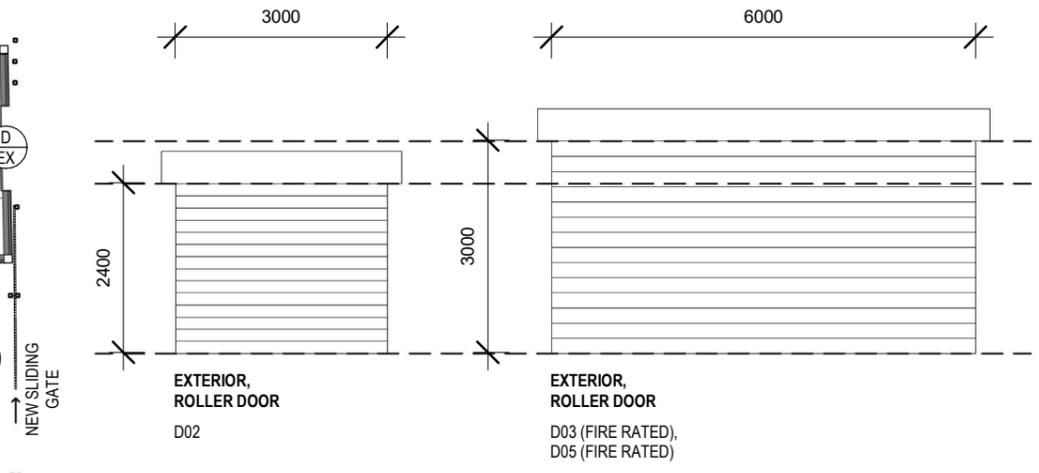
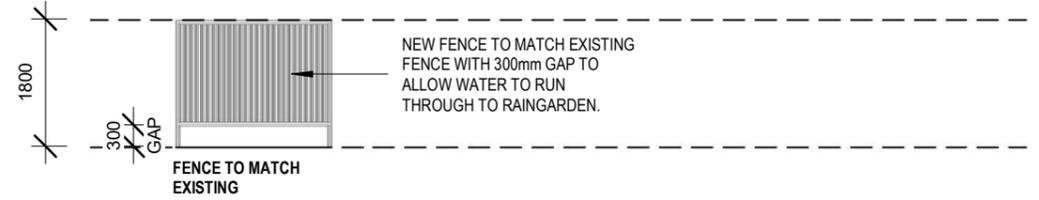
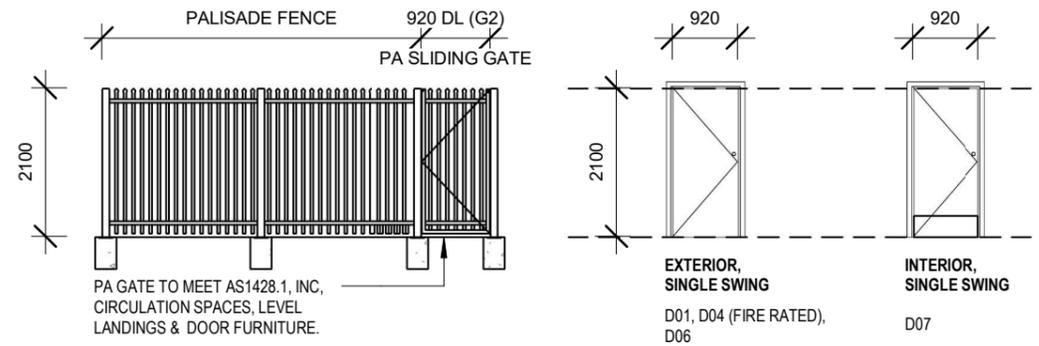
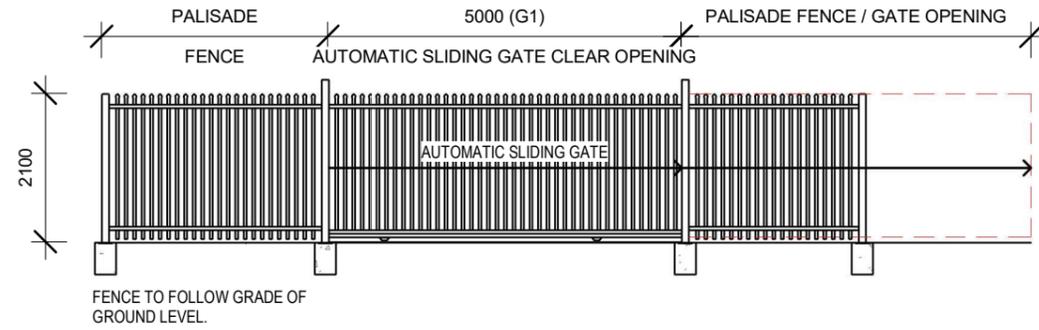
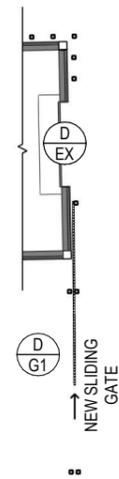
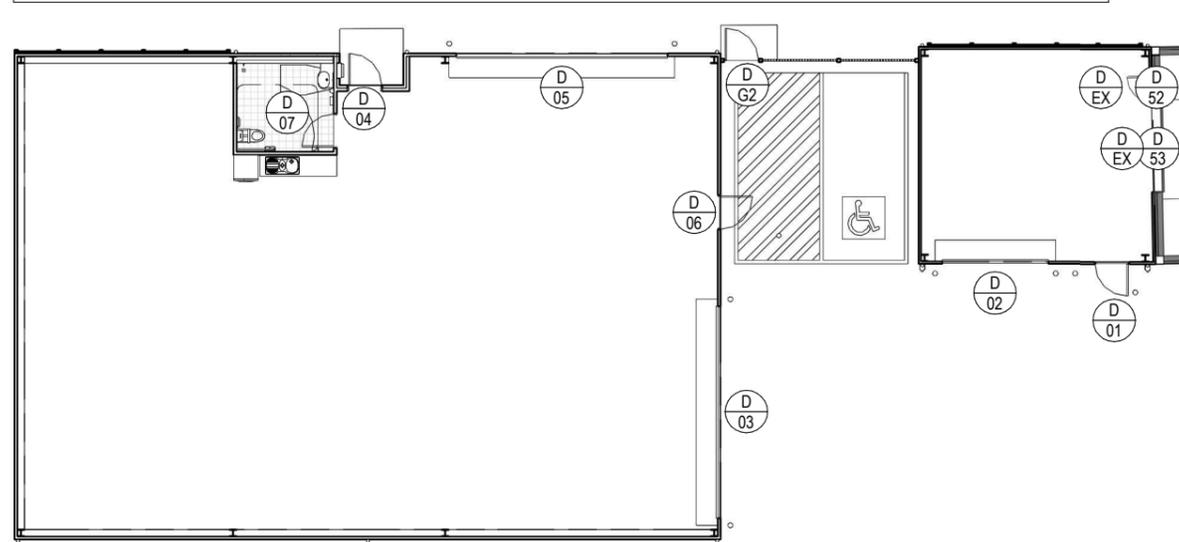
DRAWING AMENDMENTS		PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED	TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE DETAILS - STREETScape COLOURBOARD	DRAWING COMMENCED APRIL 24	DRAWING VERIFIED BY TL
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	CLIENT C. JAMES		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310	DRAWING SCALE 1 : 100	DRAWN BY AW
		Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		STREET ADDRESS 2 MURAC STREET GOULBURN NSW 2580	AT SHEET SIZE A3 SHEET	JOB NUMBER 0124-1641
					DRAWING IDENTIFICATION NUMBER DA-16	AMENDMENT ISSUE A

DOOR SCHEDULE					
DOOR NO.	DOOR TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT
01	EXTERIOR GRADE, STEEL FRAMED SECURITY PA DOOR, POWDERCOAT FINISH TO MEET NCC D3D26 & AS1428.1. MIN. 30% LUMINANCE CONTRAST TO AS1428.1 & TO MEET NCC D3D26 DOOR FURNITURE, NCC C4D12 & AS1428.1.	2100	920	0	2100
02	STEEL FRAMED, SECURITY ROLLER DOOR TO MEET NCC & SHED MANUFACTURER'S DETAILS.	2400	3000	0	2400
03	STEEL FRAMED SECURITY FIRE RATED ROLLER DOOR, POWDERCOAT FINISH TO MEET NCC C4D3-8 & SHED MANUFACTURER'S DETAILS.	3000	6000	0	3000
04	EXTERIOR GRADE, STEEL FRAMED, SELF-CLOSING, SECURITY PA FIRE RATED DOOR, POWDERCOAT FINISH TO MEET NCC C4D3-8, NCC D3D26 & AS1428.1. MIN. 30% LUMINANCE CONTRAST TO AS1428.1 & TO MEET NCC D3D26 DOOR FURNITURE, NCC C4D12 & AS1428.1.	2100	920	0	2100
05	STEEL FRAMED SECURITY FIRE RATED ROLLER DOOR, POWDERCOAT FINISH TO MEET NCC C4D3-8 & SHED MANUFACTURER'S DETAILS.	3000	6000	0	3000
06	EXTERIOR GRADE, STEEL FRAMED SECURITY PA DOOR, POWDERCOAT FINISH TO MEET NCC D3D26 & AS1428.1. MIN. 30% LUMINANCE CONTRAST TO AS1428.1 & TO MEET NCC D3D26 DOOR FURNITURE, NCC C4D12 & AS1428.1.	2100	920	0	2100
07	INTERIOR, STEEL FRAMED, SOLID CORE SWINGING DOOR WITH 304 SS 300mm KICKPLATE TO BOTH SIDES OF DOOR LEAF.	2100	920	0	2100
G1	COMMERCIAL GRADE, STEEL FRAMED, AUTOMATIC DOUBLE SLIDING GATE (VEHICULAR ENTRY) POWDERCOAT FINISH WITH AUTOMATIC MOTORISED SLIDING GATE, GATE TRACK & OPERATING MECHANISM, ANTI-CRUSH & SLOW DOWN MODE TO MATCH PALISADE FENCING TO MEET NCC & AS1428.1.	2100	5000	0	2100
G2	COMMERCIAL GRADE, STEEL FRAMED SECURITY SINGLE SWING ENTRY GATE, POWDERCOAT FINISH TO MATCH PALISADE FENCING TO MEET AS1428.1 & NCC. MIN. 30% LUMINANCE CONTRAST TO AS1428.1 & TO MEET NCC D3D26 DOOR FURNITURE, NCC C4D12 & AS1428.1.	2100	920	-145	1955

ALL DOOR CIRCULATION SPACES TO MEET AS1428.1. ALL SWING DOORS TO BE FITTED WITH MATCHING FLYSCREENS. FINAL DOOR SELECTIONS, STYLE, OPERATION TYPE, GLAZING & FRAME TYPE TO BE BY CLIENT & BUILDER & TO BE IN ACCORDANCE WITH SECTION J REQUIREMENTS.

(-) NEGATIVE SYMBOL INDICATES SILL/HEAD HEIGHTS OFFSETS FROM THE MAIN LEVEL OF EACH BUILDING.

NOTE : 2100h PALISADE FENCING, AS1428.1 PA SINGLE SWING GATE & VEHICULAR AUTOMATIC SLIDING GATE SYSTEM. 100x100 POSTS, 50x50 RAILS, 40x40mm SPEARS WITH SQUARE PICKET PUNCHED THROUGH, WELDED & FINISHED WITH A PRESSED SPEAR IN PRE-GALVANISED POWDERCOAT STEEL. AUTOMATIC MOTORISED SLIDING GATE, GATE TRACK & OPERATING MECHANISM, ANTI-CRUSH & SLOW DOWN MODE TO MATCH FENCE. FENCE & GATES SYSTEM TO BE DESIGNED & INSTALLED BY MANUFACTURER REPRESENTATIVE & TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS. HEIGHT VARIES TO MATCH GROUND LEVELS. COLOUR TO BE SELECTED BY CLIENT.



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1 WINDOW & DOOR TAGS PLAN
1 : 200 @ A3

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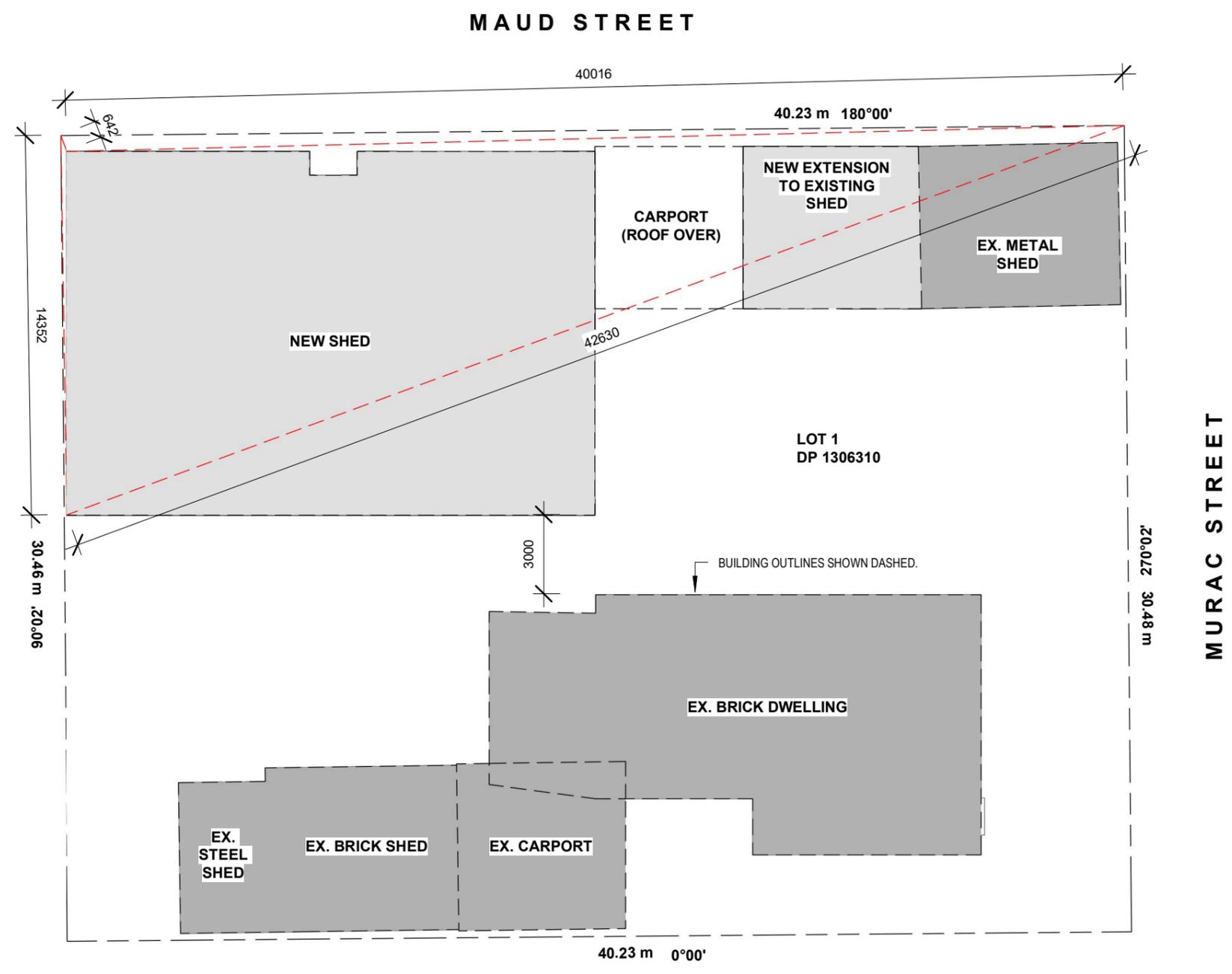
DRAWING AMENDMENTS		PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030		DRAWING TITLE DETAILS - WINDOW & DOOR SCHEDULES		DRAWING COMMENCED APRIL 24		DRAWING VERIFIED BY TL	
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES	Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310		DRAWING SCALE As indicated		DRAWN BY AW	
						STREET ADDRESS 2 MURAC STREET GOULBURN NSW 2580		AT SHEET SIZE A3 SHEET		JOB NUMBER 0124-1641	
							DRAWING IDENTIFICATION NUMBER DA-17		AMENDMENT ISSUE A		

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SITE AREA	1225.85 m ²
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1 SITE DETAIL PLAN - SITE SETOUT
1 : 200 @ A3



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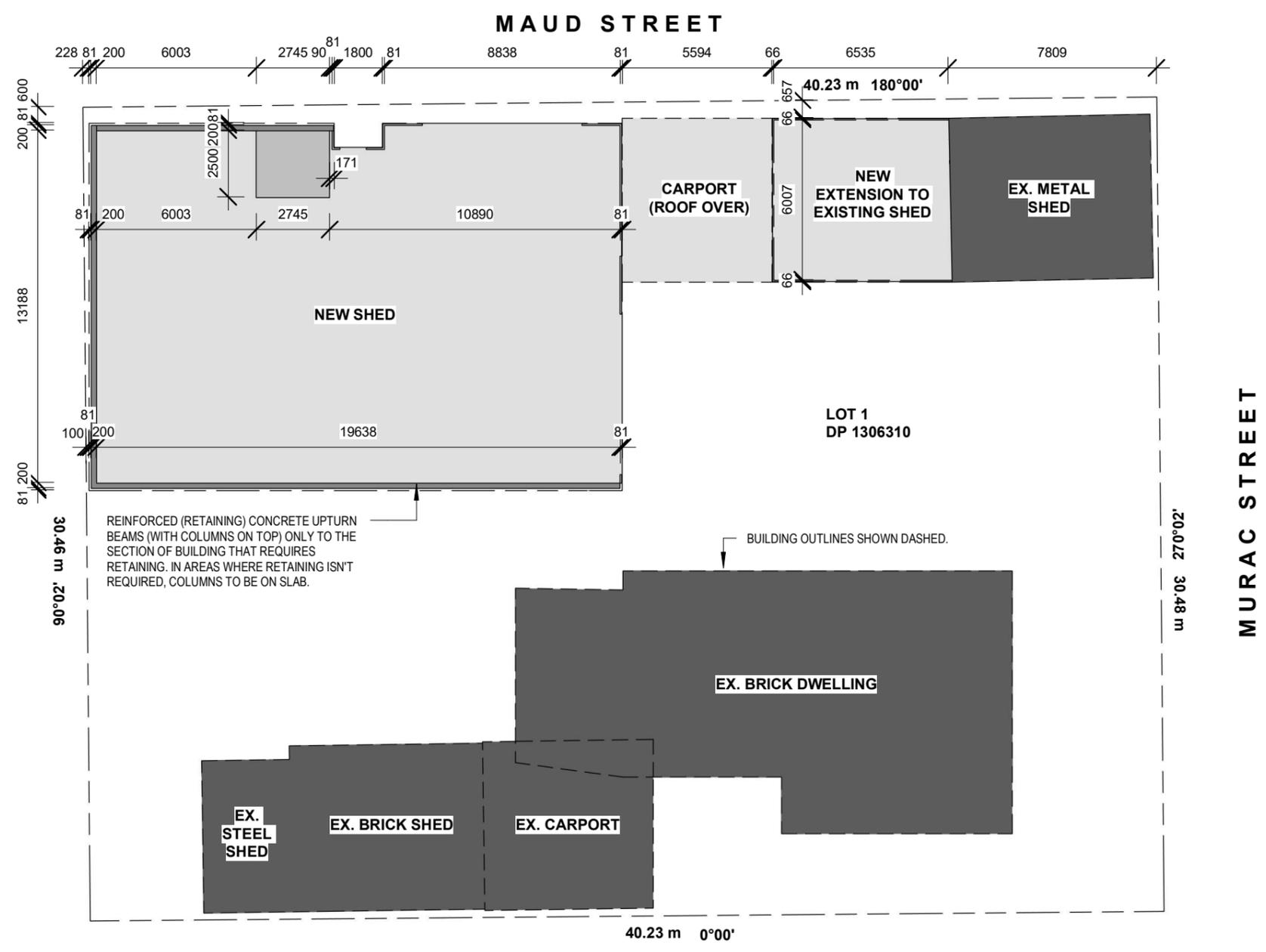
DRAWING AMENDMENTS			PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		TIM LEE ARCHITECTS residential commercial industrial		DRAWING TITLE SITE DETAIL PLAN - SITE SETOUT		DRAWING COMMENCED APRIL 24		DRAWING VERIFIED BY TL	
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES		P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310		DRAWING SCALE As indicated		DRAWN BY AW	
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SITE AREA 1225.85 m²



REINFORCED (RETAINING) CONCRETE UPTURN BEAMS (WITH COLUMNS ON TOP) ONLY TO THE SECTION OF BUILDING THAT REQUIRES RETAINING. IN AREAS WHERE RETAINING ISN'T REQUIRED, COLUMNS TO BE ON SLAB.

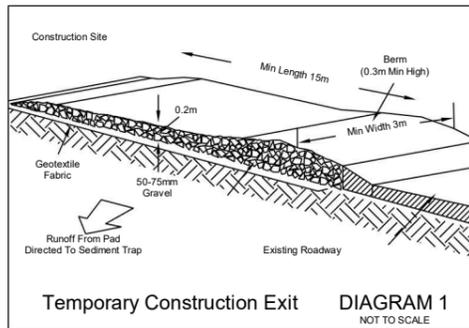
BUILDING OUTLINES SHOWN DASHED.

1 SITE DETAIL PLAN - SLAB SETOUT
1 : 200 @ A3

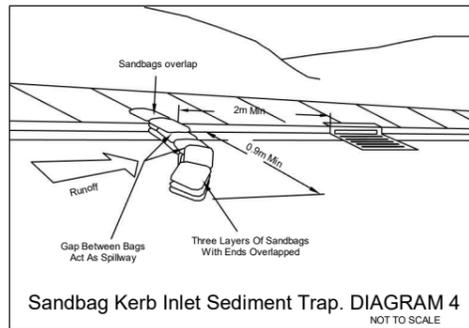


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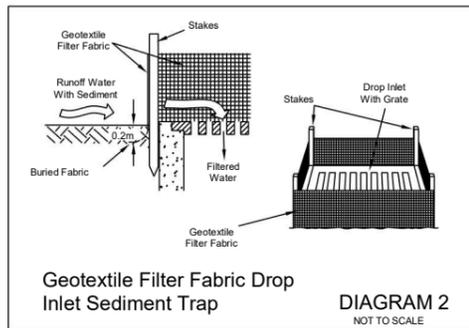
DRAWING AMENDMENTS			PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		TIM LEE ARCHITECTS residential commercial industrial		DRAWING TITLE SITE DETAIL PLAN - SLAB SETOUT		DRAWING COMMENCED APRIL 24		DRAWING VERIFIED BY TL	
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES		P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310		DRAWING SCALE As indicated		DRAWN BY AW	
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									DRAWING IDENTIFICATION NUMBER DA-19		AMENDMENT ISSUE A	



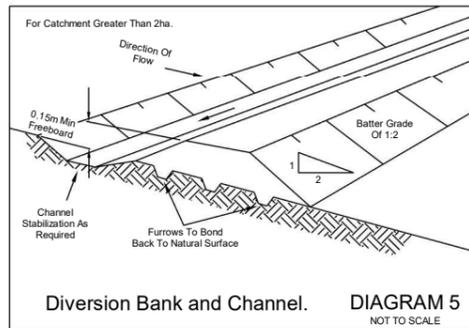
Temporary Construction Exit **DIAGRAM 1**
NOT TO SCALE



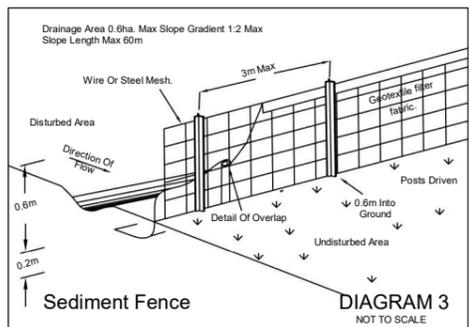
Sandbag Kerb Inlet Sediment Trap. **DIAGRAM 4**
NOT TO SCALE



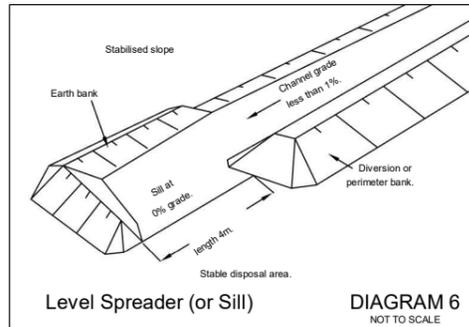
Geotextile Filter Fabric Drop Inlet Sediment Trap **DIAGRAM 2**
NOT TO SCALE



Diversion Bank and Channel. **DIAGRAM 5**
NOT TO SCALE



Sediment Fence **DIAGRAM 3**
NOT TO SCALE



Level Spreader (or Sill) **DIAGRAM 6**
NOT TO SCALE

GENERAL NOTES:

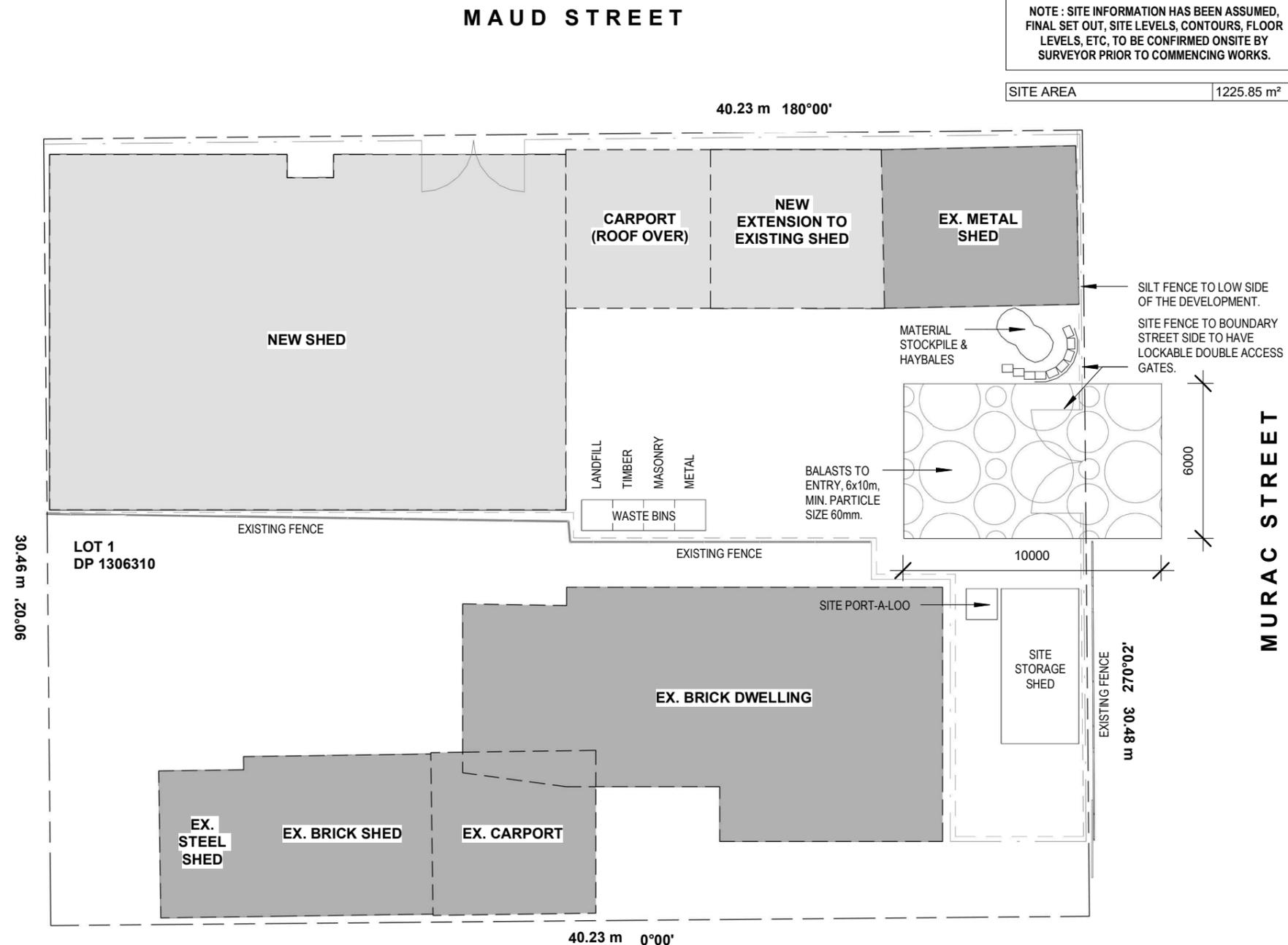
1. ALL WORK TO COMPLY WITH THE REQUIREMENTS OF COUNCIL & DEPT OF HOUSING MANUAL "MANAGING URBAN STORMWATER - SOILS & CONSTRUCTION"
2. ALL DISTURBED AREAS ON VERGES & ALLOTMENTS SHALL BE RIPPED 100mm BELOW FINISHED SURFACE LEVEL, 100mm OF APPROVED SITE OR IMPORTED TOPSOIL ADDED & TRIMMED TO FINISHED LEVEL. THEN GRASSED WITH APPROVED SEED/ MULCHED WITHIN 14 DAYS AND WATERED UNTIL FULL ESTABLISHMENT OCCURS.
3. ALL ADJOINING AREAS TO BE PROTECTED FROM SEDIMENT VIA SILT FENCE AS DETAILED. (IF FALL TO LAND OCCURS)
4. ALL PROPOSED AND EXISTING KERB INLET SUMPS SHALL BE PROTECTED FROM SEDIMENT AS DETAILED. (GULLY PIT PROTECTION)
5. ALL SURFACE INLET PITS (OFF ROAD) SHALL BE PROTECTED FROM SEDIMENT AS DETAILED. (SURFACE INLET PITS)
6. ALL PAVEMENT & SUBGRADES TO BE PROTECTED FROM SCOUR/EROSION AS DETAILED. (PAVEMENT PROTECTION)
7. ALL OUTLET PIPE'S SHALL BE FITTED WITH STAKED STRAW BALES & SILT FENCE IN A DAM PATTERN.
8. ALL SWALE DRAINS (OPEN CHANNELS) TO BE TREATED AS PER PAVEMENT PROTECTION UNTIL GRASS IS ESTABLISHED.
9. 300mm WIDE STRIP OF TURF TO BE LAID BEHIND KERB. 1m RETURNS AT 50m INTERVALS. TURF ALSO TO BE LAID AROUND ALL SURFACE INLET PITS.
10. EXISTING GRASSED AREAS SHOWN ON SOIL AND WATER MANAGEMENT PLAN ARE TO BE MAINTAINED IN CURRENT CONDITION WHERE EVER POSSIBLE
11. TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (ie: ALL FOOTPATHS, BATTERS, SITE REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS.) TOPSOIL SHALL NOT BE RESPREAD ON ANY OTHER AREA UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF.
12. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. NO SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTILL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
13. VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO PROPOSED OR EXISTING ROAD ALIGNMENTS.
14. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.
15. THE CONTRACTOR'S RESPONSIBILITY IS TO ENSURE ALL NECESSARY MEASURES ARE TAKEN TO PROTECT ALL DISTURBED AREAS AS PER NOTE 1. ALL ADDITIONAL COSTS IS TO BE REFLECTED IN TENDER PRICE EVEN IF SUCH MEASURES ARE NOT INDICATED ON SEDIMENT AND EROSION CONTROL PLANS.

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SITE AREA 1225.85 m²



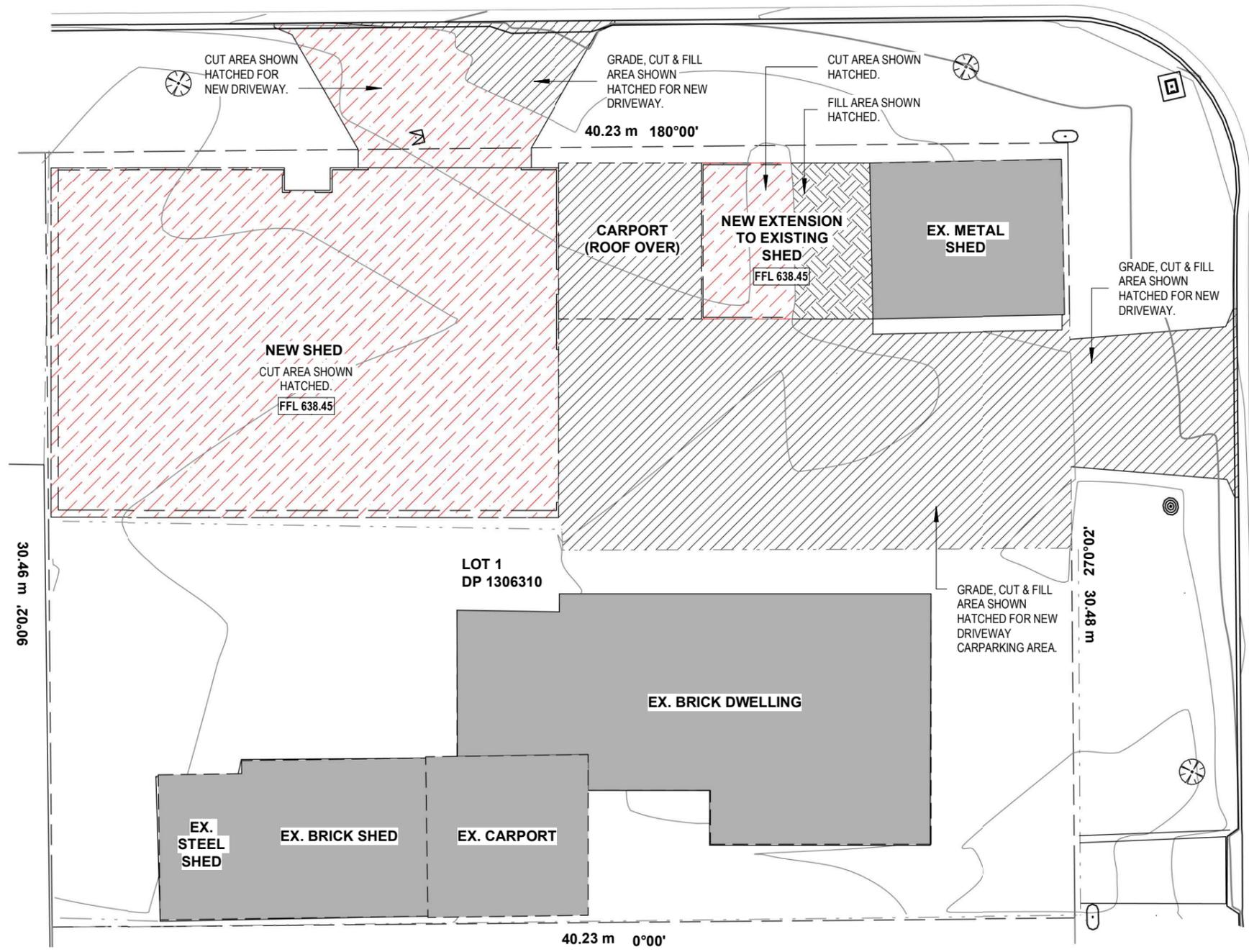
2 SITE DETAIL PLAN - EROSION & SEDIMENT CONTROL
1 : 200 @ A3

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DRAWING AMENDMENTS			PROJECT TITLE	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		SITE DETAIL PLAN - EROSION CONTROL NOTES & PLAN	APRIL 24
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025	CLIENT	LOT AND DEPOSITED PLAN NO.	As indicated	DRAWN BY
			C. JAMES	LOT 1 DP 1306310	A3 SHEET	AW
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				2 MURAC STREET GOULBURN NSW 2580	DA-20	0124-1641
					DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
						A

TIM LEE ARCHITECTS
residential commercial industrial
P: 02 4822 5934
ABN: 71425067537
ROSS PLACE
GOULBURN NSW
2580
NOMINATED ARCHITECT:
TIM LEE
NSW REG: 7304
ACT REG: 1030

MAUD STREET



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SITE AREA 1225.85 m²

CUT & FILL LEGEND	
	AREA OF CUT
	AREA OF FILL
	AREA OF GRADE, CUT & FILL

MURAC STREET

1 SITE DETAIL PLAN - CUT & FILL
1 : 200 @ A3



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DRAWING AMENDMENTS			PROJECT TITLE	DRAWING TITLE	DRAWING COMMENCED	DRAWING VERIFIED BY
REVISION	DESCRIPTION	DATE	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED	SITE DETAIL PLANS - CUT & FILL	APRIL 24	TL
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025	CLIENT	LOT AND DEPOSITED PLAN NO.	DRAWING SCALE	DRAWN BY
			C. JAMES	LOT 1 DP 1306310	As indicated	AW
			Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.	STREET ADDRESS	AT SHEET SIZE	JOB NUMBER
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					DRAWING IDENTIFICATION NUMBER	AMENDMENT ISSUE
					DA-21	A

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2580
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TIM LEE
NSW REG: 7304
ACT REG: 1030



OPPOSITE KERB

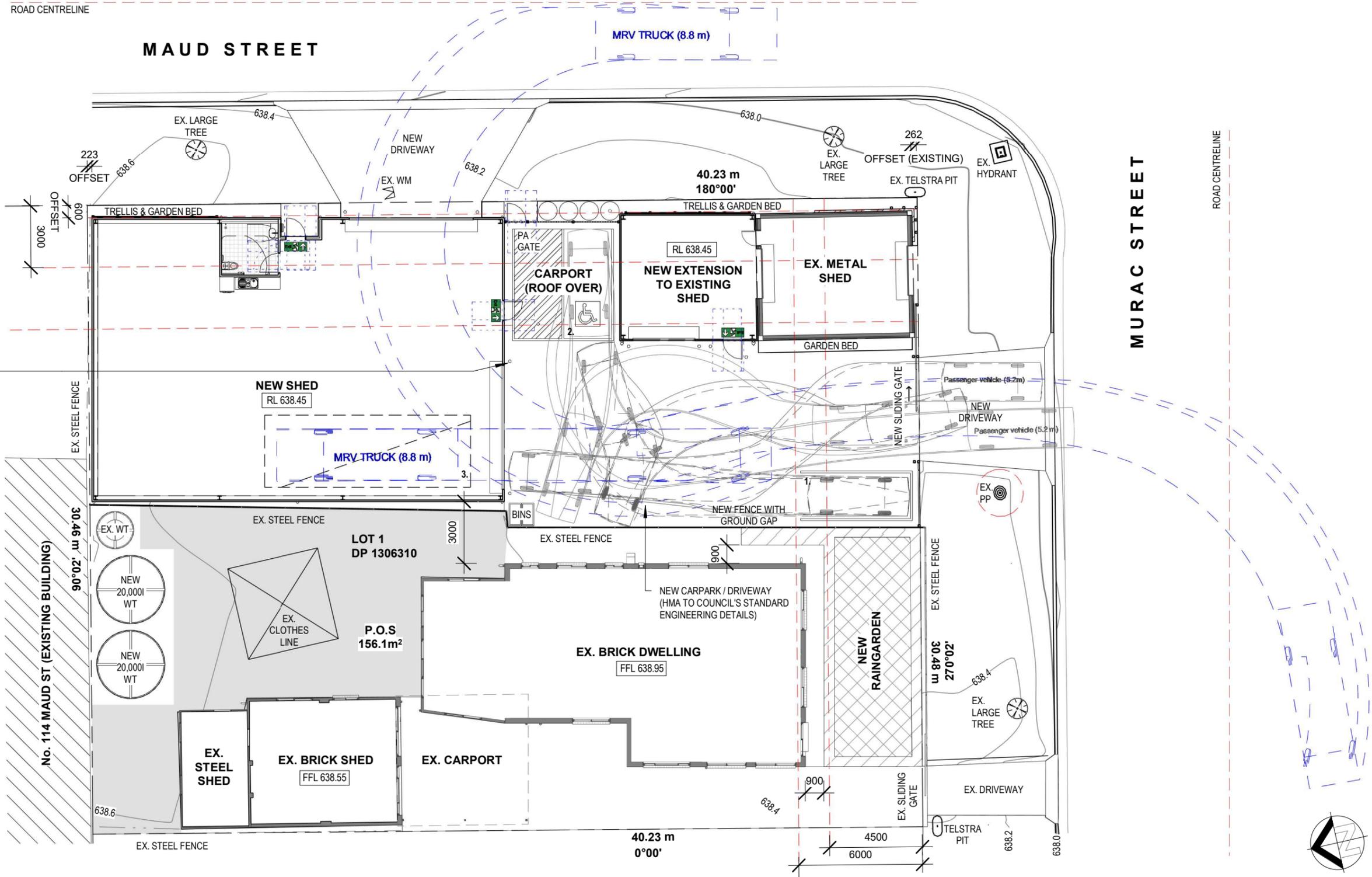
1 SITE DETAIL PLAN - VEHICLE TURNING CIRCLES

1 : 200 @ A3

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DRAWING AMENDMENTS		
REVISION	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025

PROJECT TITLE	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED
CLIENT	C. JAMES
<small>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</small>	

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residential commercial industrial
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 ROSS PLACE
 GOULBURN NSW
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 TIM LEE
 NSW REG: 7304
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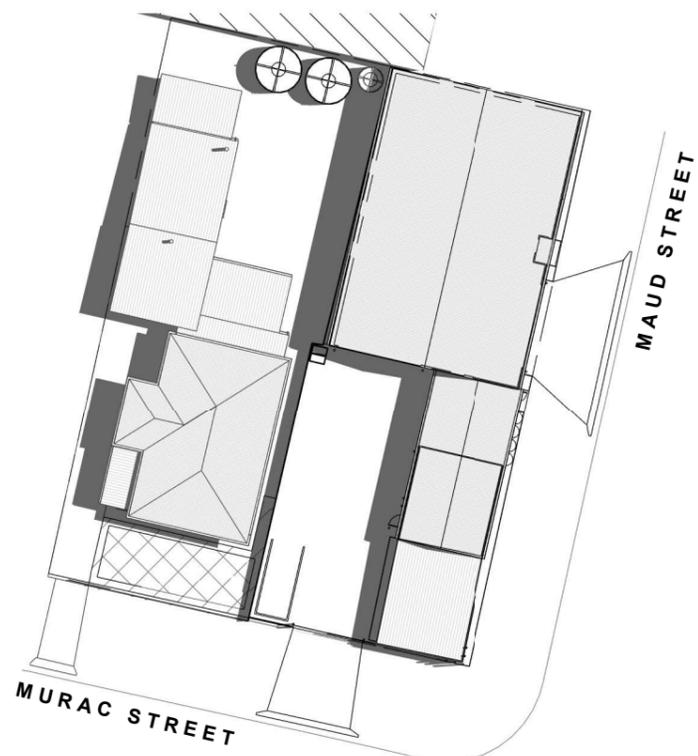
DRAWING TITLE	SITE DETAIL PLAN - VEHICLE TURNING CIRCLES
LOT AND DEPOSITED PLAN NO.	LOT 1 DP 1306310
STREET ADDRESS	2 MURAC STREET GOULBURN NSW 2580

DRAWING COMMENCED	APRIL 24	DRAWING VERIFIED BY	TL
DRAWING SCALE	As indicated	DRAWN BY	AW
AT SHEET SIZE	A3 SHEET	JOB NUMBER	0124-1641
DRAWING IDENTIFICATION NUMBER	DA-23	AMENDMENT ISSUE	A

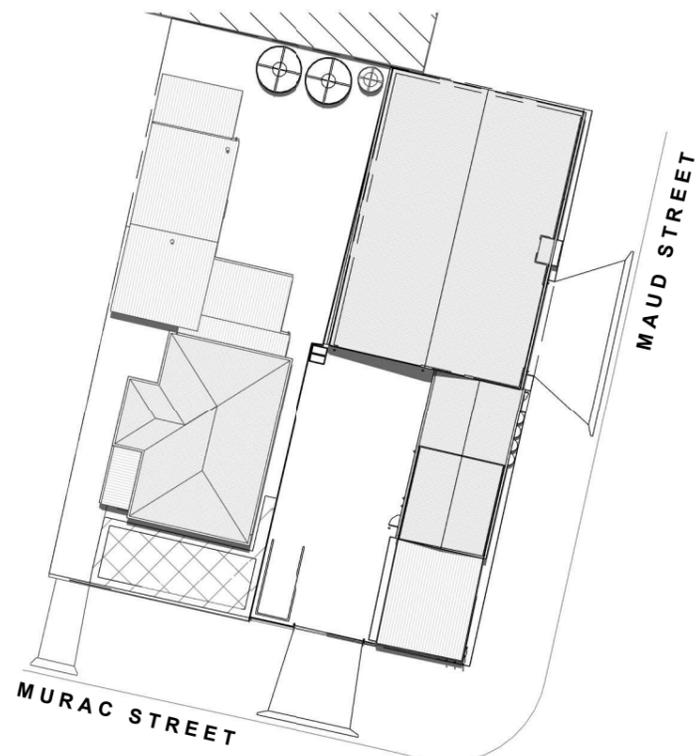
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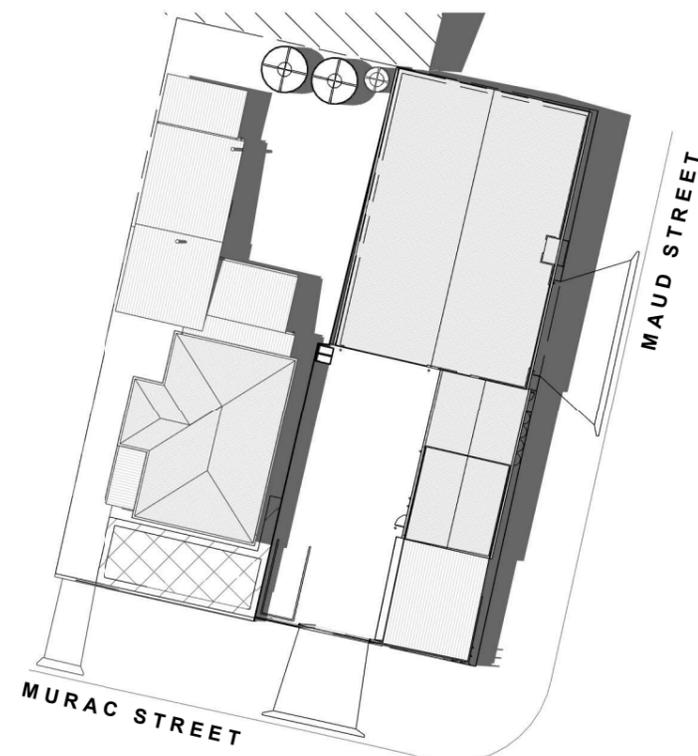
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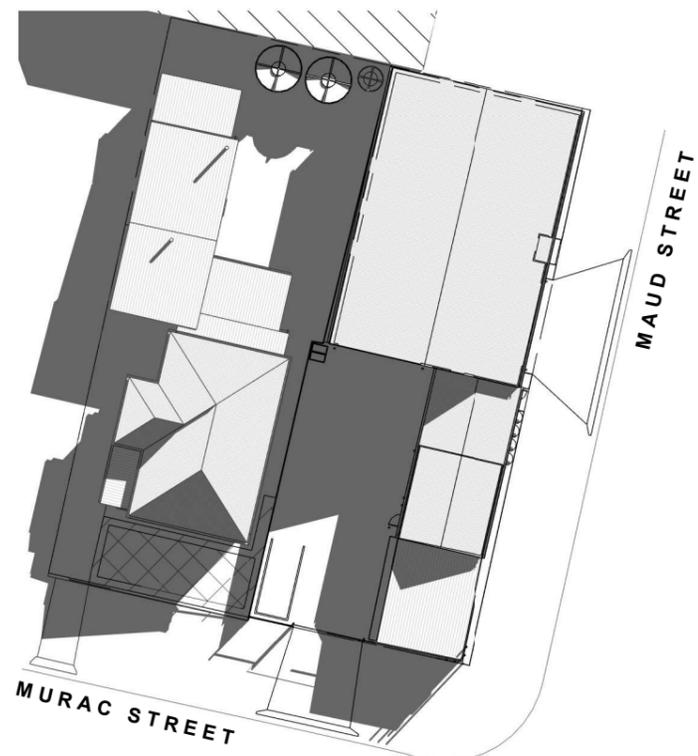
SHADOW DIAGRAM - 9AM SUMMER SOLSTICE



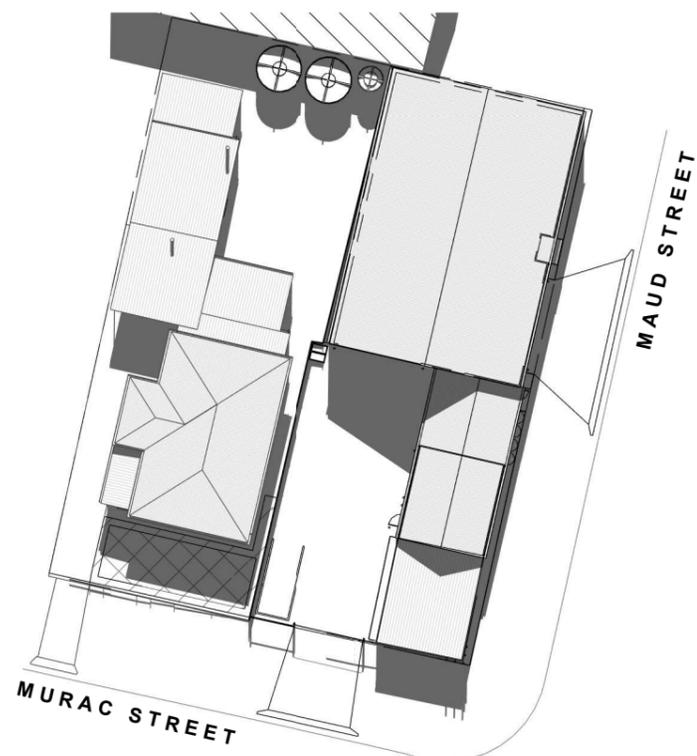
SHADOW DIAGRAM - 12PM SUMMER SOLSTICE



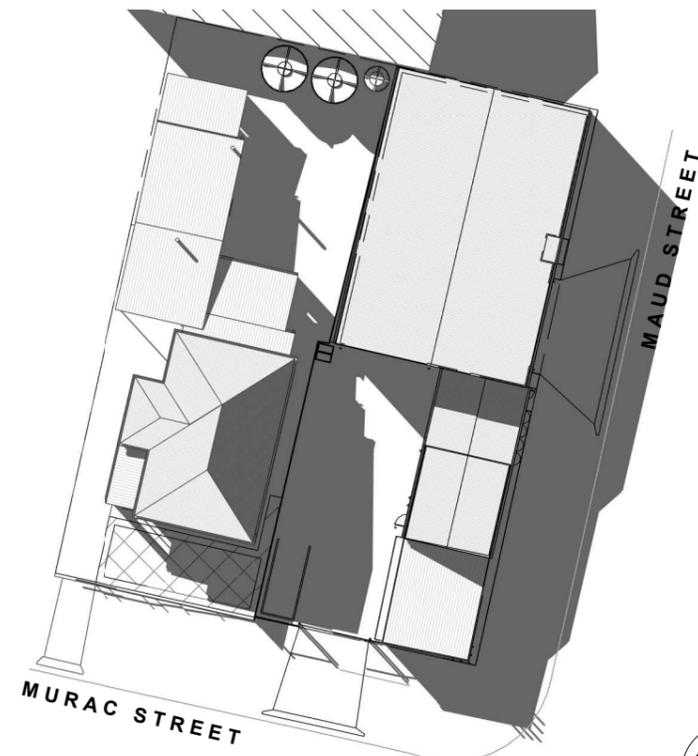
SHADOW DIAGRAM - 3PM SUMMER SOLSTICE



SHADOW DIAGRAM - 9AM WINTER SOLSTICE



SHADOW DIAGRAM - 12PM WINTER SOLSTICE



SHADOW DIAGRAM - 3PM WINTER SOLSTICE



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DRAWING AMENDMENTS		
REVISION	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025

PROJECT TITLE	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED
CLIENT	C. JAMES
<small>Figured dimensions take precedence. Do not scale drawings. Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work. All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures. COPYRIGHT TIM LEE ARCHITECTS Drawings subject to copyright and may not be reproduced in any form without the written permission of the architect.</small>	

TIM LEE ARCHITECTS
residential commercial industrial
 P: 02 4822 5934
 ABN: 71425067537
 ROSS PLACE
 GOULBURN NSW
 2580
 NOMINATED ARCHITECT:
 TIM LEE
 NSW REG: 7304
 ACT REG: 1030

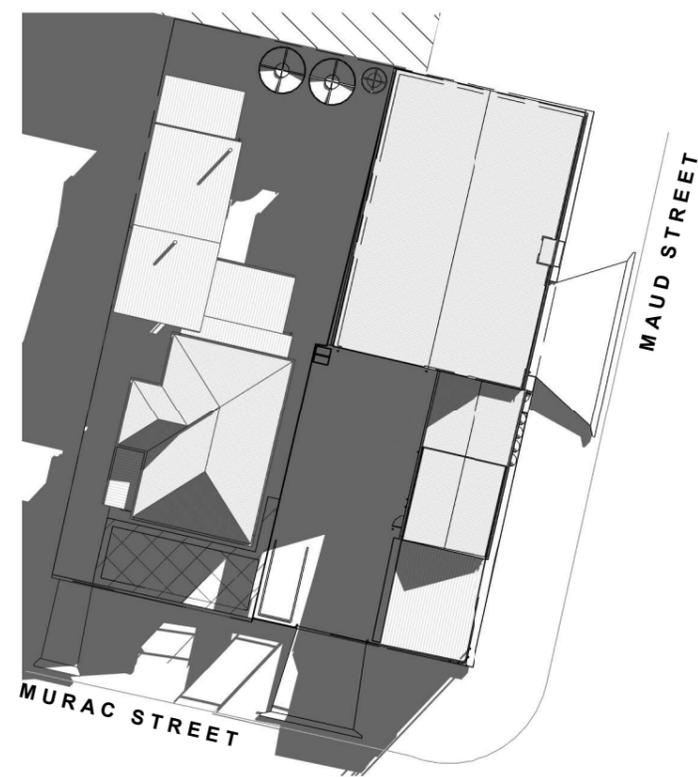
DRAWING TITLE	SITE DETAIL PLAN - SHADOW DIAGRAMS 1
LOT AND DEPOSITED PLAN NO.	LOT 1 DP 1306310
STREET ADDRESS	2 MURAC STREET GOULBURN NSW 2580

DRAWING COMMENCED	APRIL 24	DRAWING VERIFIED BY	TL
DRAWING SCALE	As indicated	DRAWN BY	AW
AT SHEET SIZE	A3 SHEET	JOB NUMBER	0124-1641
DRAWING IDENTIFICATION NUMBER	DA-24	AMENDMENT ISSUE	A

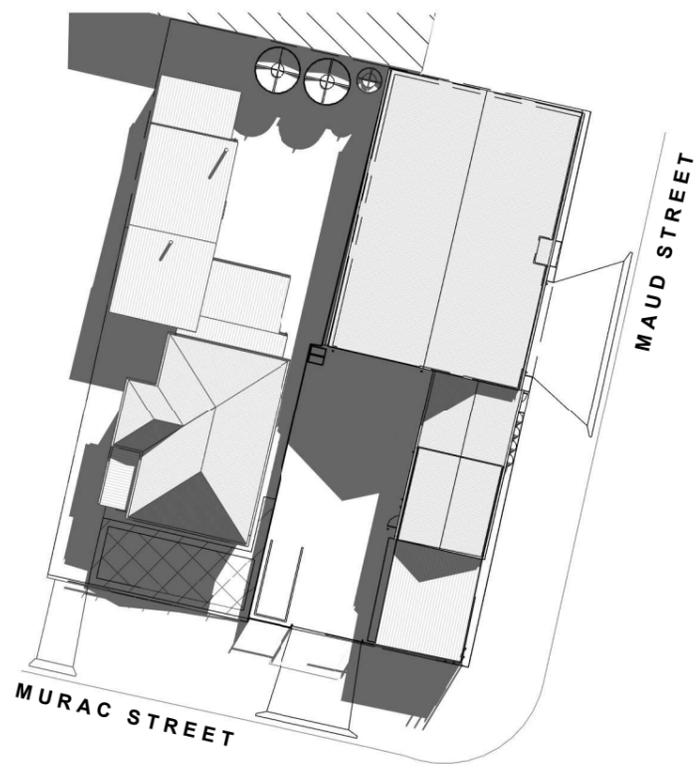
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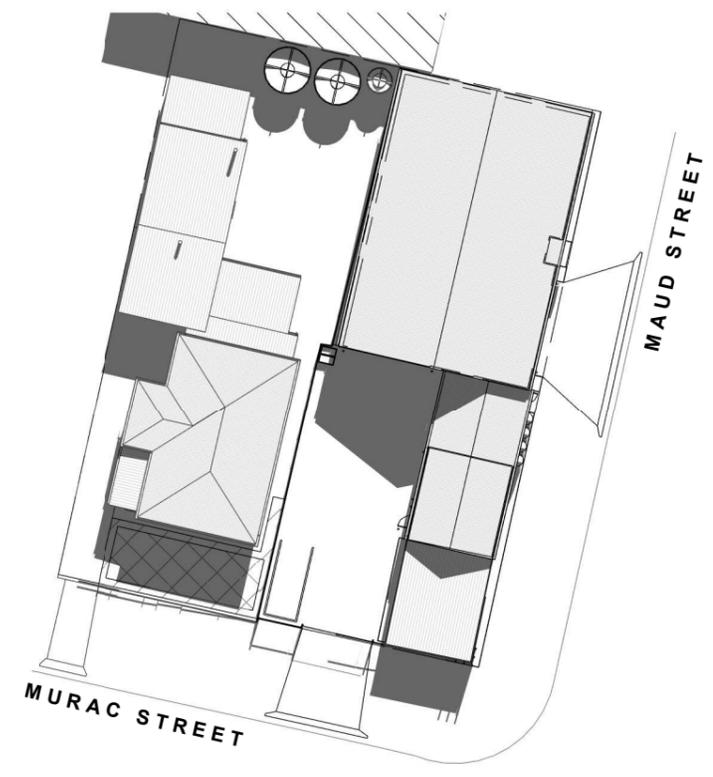
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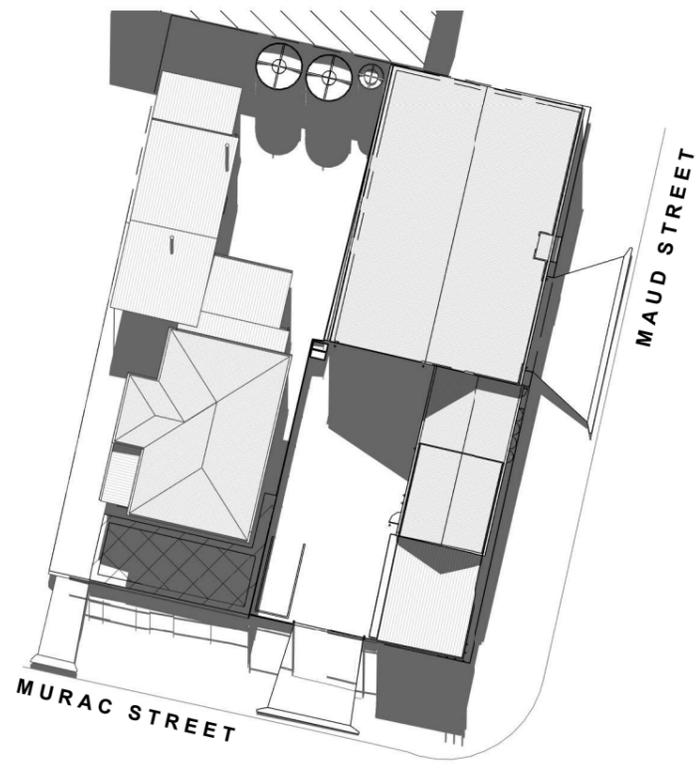
SHADOW DIAGRAM - 9AM WINTER SOLSTICE



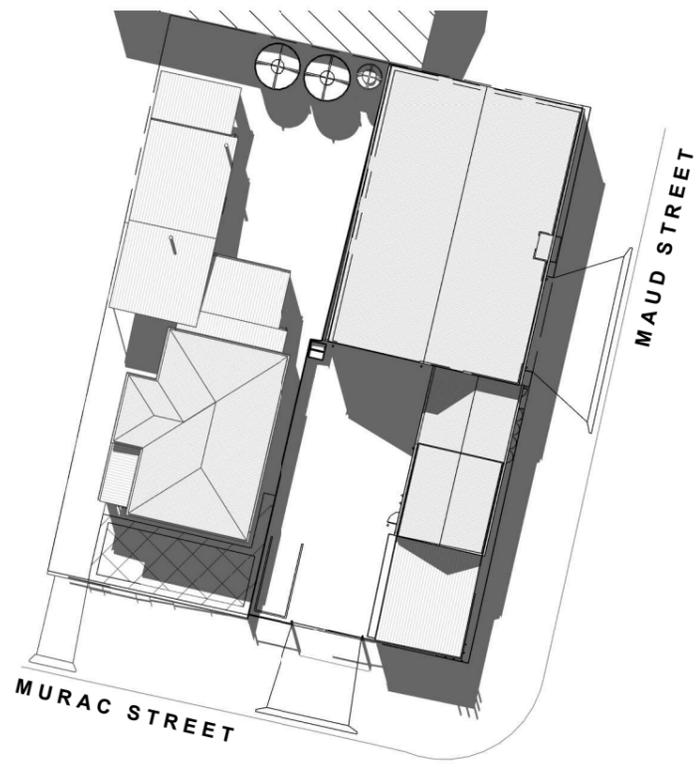
SHADOW DIAGRAM - 10AM WINTER SOLSTICE



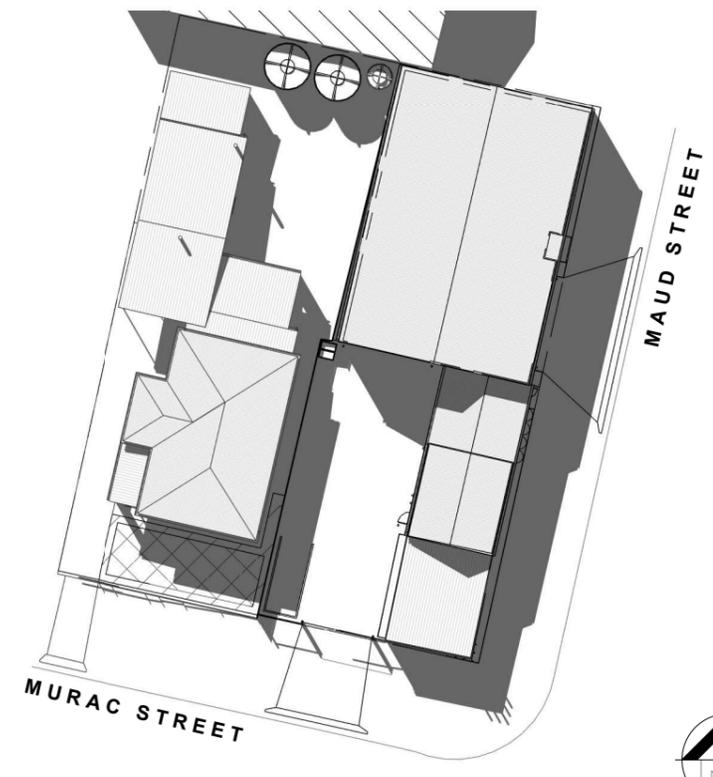
SHADOW DIAGRAM - 11AM WINTER SOLSTICE



SHADOW DIAGRAM - 12PM WINTER SOLSTICE



SHADOW DIAGRAM - 1PM WINTER SOLSTICE



SHADOW DIAGRAM - 2PM WINTER SOLSTICE



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DRAWING AMENDMENTS		
REVISION	DESCRIPTION	DATE
A	ISSUED FOR DEVELOPMENT APPLICATION	20.03.2025

PROJECT TITLE	NEW SHEDS, ATTACHED CARPORT & EXISTING SHED
CLIENT	C. JAMES
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 GOULBURN NSW
 2580
 NOMINATED ARCHITECT:
 TIM LEE
 NSW REG: 7304
 ACT REG: 1030

DRAWING TITLE	SITE DETAIL PLANS - SHADOW DIAGRAMS 2
LOT AND DEPOSITED PLAN NO.	LOT 1 DP 1306310
STREET ADDRESS	2 MURAC STREET GOULBURN NSW 2580

DRAWING COMMENCED	APRIL 24	DRAWING VERIFIED BY	TL
DRAWING SCALE	As indicated	DRAWN BY	AW
AT SHEET SIZE	A3 SHEET	JOB NUMBER	0124-1641
DRAWING IDENTIFICATION NUMBER	DA-25	AMENDMENT ISSUE	A

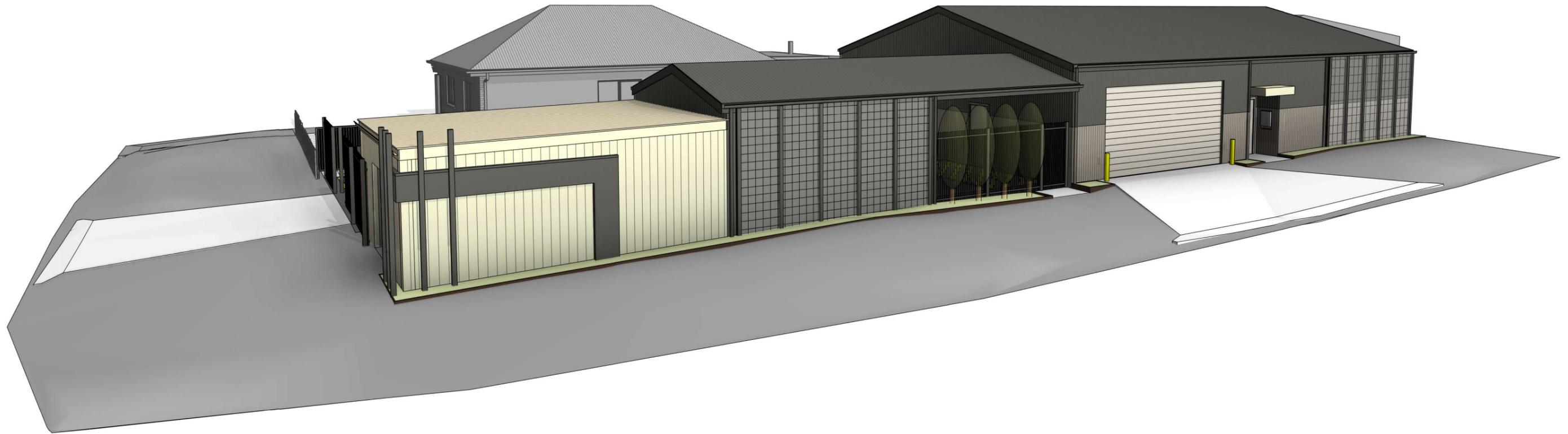
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1 3D PROPOSED PERSPECTIVE 1
@ A3



2 3D PROPOSED PERSPECTIVE 2
@ A3

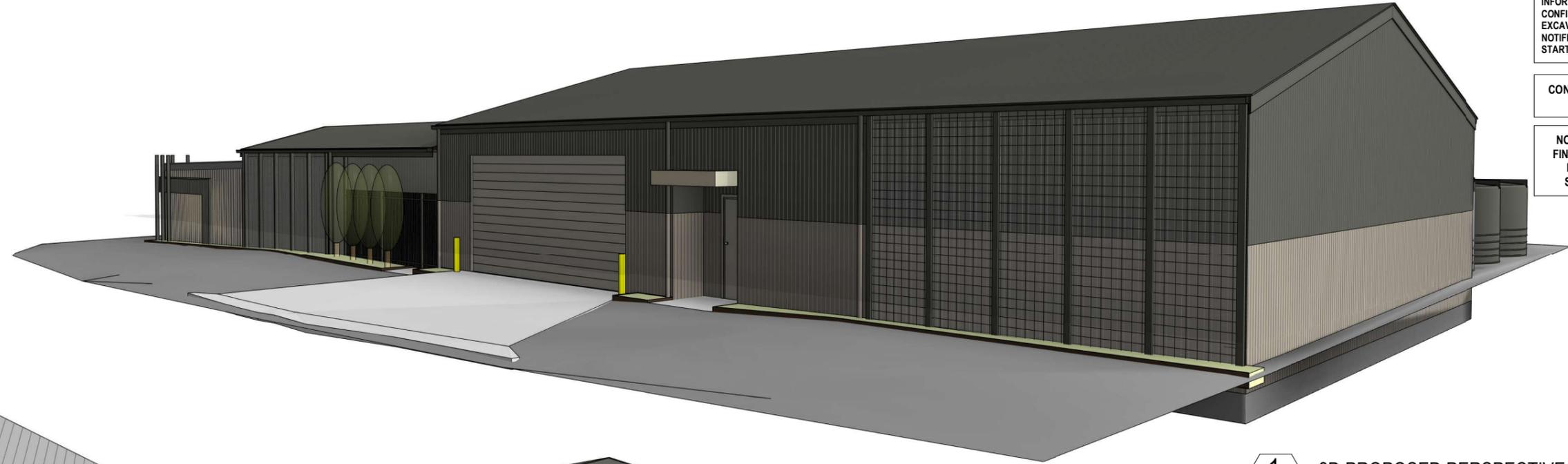
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DRAWING AMENDMENTS			PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED	 TIM LEE ARCHITECTS residential commercial industrial P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580 NOMINATED ARCHITECT: TIM LEE NSW REG: 7304 ACT REG: 1030	DRAWING TITLE 3D PERSPECTIVES 1	DRAWING COMMENCED APRIL 24	DRAWING VERIFIED BY TL
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310	DRAWING SCALE 1 : 100	DRAWN BY AW
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					DRAWING IDENTIFICATION NUMBER DA-26	AMENDMENT ISSUE A	

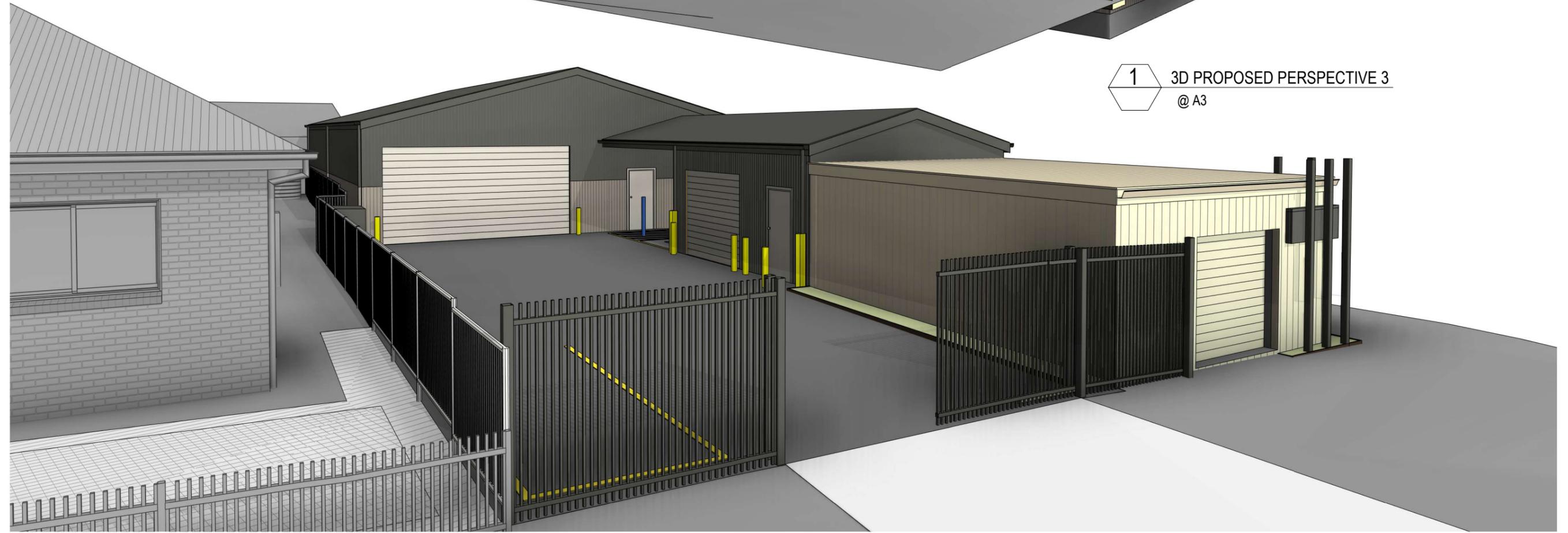
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1 3D PROPOSED PERSPECTIVE 3 @ A3



2 3D PROPOSED PERSPECTIVE 4 @ A3

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DRAWING AMENDMENTS			PROJECT TITLE NEW SHEDS, ATTACHED CARPORT & EXISTING SHED		TIM LEE ARCHITECTS residential commercial industrial		DRAWING TITLE 3D PERSPECTIVES 2		DRAWING COMMENCED APRIL 24		DRAWING VERIFIED BY TL	
REVISION A	DESCRIPTION ISSUED FOR DEVELOPMENT APPLICATION	DATE 20.03.2025	CLIENT C. JAMES		P: 02 4822 5934 ABN: 71425067537 ROSS PLACE GOULBURN NSW 2580		LOT AND DEPOSITED PLAN NO. LOT 1 DP 1306310		DRAWING SCALE 1 : 100		DRAWN BY AW	
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